

Exhibit E
Construction Requirements



Kaufman County, Texas

DESIGN CRITERIA
AND
ARCHITECTURAL GUIDELINES
For Single-Family Development

August 1, 2022

**HEARTLAND
DESIGN CRITERIA AND CONSTRUCTION GUIDELINES
for Single-Family Development**

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Revision Notes:

- 1) October 1, 2015 – Full clarification update.
- 2) September 1, 2016 – Modify for 40’ Front Entry; minor clarifications/corrections
- 3) May 4, 2017 – Updated Brick and Fencing Exhibits;
- 4) February 4, 2020 – Modifications to address Townhomes
- 5) August 1, 2022 – Updated exhibits for new developments, shed heights, parkway trees, TH drainage and narrow areas between driveways, builder lot mowing

HEARTLAND
DESIGN CRITERIA AND ARCHITECTURAL GUIDELINES
For Single-Family Development

WITH REGARDS TO THIS DOCUMENT AND AS REFERRED TO AS THE “HEARTLAND DESIGN CRITERIA AND ARCHITECTURAL GUIDELINES” AND NOTWITHSTANDING ANYTHING HEREIN TO THE CONTRARY, DECLARANT HEREBY RESERVES THE RIGHT, IN ITS SOLE DISCRETION, AT ANY TIME, WITH OR WITHOUT NOTICE, TO MODIFY, CHANGE OR WAIVE ANY OR ALL OF THE FOLLOWING DESIGN GUIDELINES FOR ANY REASON.

FURTHERMORE, DECLARANT RESERVES THE RIGHT TO SOLELY APPROVE THE HOME BUILDERS’ PLANS AND SPECIFICATIONS. THE ARC (AS DEFINED BELOW) SHALL NOT BE SET UP, APPOINTED OR ESTABLISHED UNTIL DECLARANT, IN ITS SOLE DISCRETION, SETS UP, APPOINTS OR ESTABLISHES SUCH ARC.

All new construction and homeowner additions must comply and submit for a building permit from the District Representative and the HOA Architectural Review Committee (ARC). See **Section 1.1** for ARC procedures for more information.

Other restrictions of the use of home sites are explained in the "Declaration of Covenants, Conditions and Restrictions for Heartland" and in the neighborhood specific Supplemental Declaration, should such exist. These documents, DESIGN CRITERIA and ARCHITECTURAL GUIDELINES, contain important information which all Owners at Heartland should read and become familiar with. Definition of Terms is provided in **Section 2.8**.

These DESIGN GUIDELINES address four basic construction activities:

Section 1.0 – General Site Design Guidelines

Section 2.0 - Architectural Design Guidelines

Section 3.0 - Signage Requirements

Section 4.0 –Construction Site Standards

Parties and Terms

These Design Criteria and Construction Guidelines for Detached Single-Family Development (hereafter “**Single-Family Guidelines**”) are published by the developer of Heartland, a planned development in Kaufman County, Texas, hereafter referred to as “**Declarant.**” Declarant is selling land and lots to builder/developers (hereafter “**Purchaser**”) for the development of single-family subdivisions within Heartland and for the construction and marketing of single-family houses. Sections of these design guidelines are also applicable to **Existing Homeowners** when revisions to their homes, fences, paints, etc. and/or replacement and/or addition of trees, landscaping, roofs, sheds to their property.

Plan Approval Reserved

Although these Single-Family Guidelines contain detailed specifications, the acceptance of these Single-Family Guidelines by Purchaser does **NOT WAIVE OR MODIFY DECLARANT’S RIGHT, HEREBY RESERVED, TO APPROVE ALL PURCHASER’S PLANS AND SPECIFICATIONS.**

Contact

For further information regarding these Single-Family Guidelines, contact the Declarant’s agent, Huffines Enterprises, Inc. located at 8222 Douglas Avenue, Suite 250, Dallas, Texas 75225, Telephone (214) 526-3000.

1.0 GENERAL SITE DESIGN GUIDELINES

1.1 Site Planning

To preserve the existing vegetation and to maintain the natural character of the area, site orientation should consider the existing native vegetation, drainage, shape of the lot, adjacent residences and views from the structures.

Architectural Review Process – All house plans, plot plans and landscape plans must be reviewed and approved in writing by the Architectural Review Committee (ARC) prior to construction. This is a process in addition to any requirements which may be required within each City, Town or County jurisdiction. The following is the ARC process to be followed by all builders:

Home Builders:

- a. Declarant to review and issue any approvals for all Master House Plans, Elevations and Master Landscape Plans (if applicable). Plans may be submitted any time after the builder has an executed Contract for purchase of lots. Declarant may, in its sole discretion, assign any or all of the review process to a third party. Declarant or appointed third party shall review all variances. Plans will need to include floor plan, front and side elevations and air-conditioned square footage. Once a master house plan or Master Landscape Plan has been approved by Declarant, the plan may be used within the community, subject to continual compliance by the builder of the requirements in these Design Guidelines.
- b. Plot Plan, Exterior Color Selects and Landscaping Plans are to be submitted to the Declarant or its designee for review. A Plot Plan Review Form is to be filled out by the builder for each home. The Plot Plan, Exterior Color Selects and Landscaping Plan may be submitted together or individually, but all are required to be reviewed and approved by Declarant, prior to start of construction. The Plot Plan will need to include any proposed landscaping in compliance with these Design Guidelines. Any revisions to the Plot Plan, Color Selects or Landscape Plans need to be re-submitted to the ARC for consideration. Any variances to these Design Guidelines will need to be a submitted written request by the Builder to the Declarant. Master Landscape Plans may be submitted and approved by ARC for each builder. The Developer will be responsible for payment of the first ‘Final Review’. Any additional reviews required due to non-compliance will be the responsibility of the Builder.
- c. A Final Review of each home in “Heartland” is required prior to closing to a resident. This review will ensure each home is built as submitted and approved and has met all landscaping and fencing requirements. A Final Review will be performed and issued to the builder by the Declarant or third party. This process is not intended to prevent or delay the builder from closing a home with a homeowner. This process is to ensure all exterior requirements in these guidelines have been met.

Before final site review by the Declarant, the construction of the residence must be completed. The home must conform to the previously approved Plot Plans, Exterior Color Selects and the Landscape Plan in order to be approved. **The installation of the landscaping must be complete and must conform to the guidelines set forth in Section 2.9 hereof. During the months of June, July, August, and September, the Builder/Homeowner may request a variance for tree installation/replacement until weather permits.** All building debris must be removed from the site and the surrounding area, and the construction site sign and any temporary power pole must be removed. At this time, the Builder should notify the Declarant in writing (email is acceptable) the home and site are ready for Final Review. Any unauthorized changes to the previously approved plans must be corrected before Final Review Approval will be issued. **This procedure is mandatory.**

- d. All/Any townhome builder covenants and agrees to comply with the post-construction structure transfers in accordance with the procedures set forth on **Exhibit C**.

1.2 Mailboxes, Utility Services, Antennae, etc.

All utilities installed by Purchaser, if any, shall be underground.

Purchaser must use the standard Heartland Mailbox established by Declarant. Declarant reserves the right to change or modify the mailbox at any time. Mailboxes shall be located on the property line between two lots (builders will determine which property line mailboxes will be located on; conflict with water meters located at the lot line shall be avoided). Mailboxes will utilize a single pole with two individual mailboxes. Adhesive numbering on mailboxes shall be three inches (3”) to maintain consistency along streets. (Refer to **Exhibit A for Mailbox Design**).

For the newer sections of Heartland, the US Postal Service has required Collective Box Units to be used in lieu of individual mailboxes. Therefore, the replacement of individual mailboxes must follow these guidelines should one get old, faded, or damaged and is being replaced by the Homeowner/Community Association/District.

Decoration of individual mailboxes is conditionally approved provided 1) the decoration and/or modification (this includes “skins”) is related to and appropriate for the Holiday; 2) they are to scale or proportionate to the size and setback of the homes; 3) they do not create a noise, appearance, inordinate amount of traffic or light disturbance for other Lot Owners; 4) the decoration/modification shall not be added more than 30 days before such Holiday and shall be removed within 15 days of the Holiday, with the exception being Christmas. Christmas may be installed around November 15 (± 4 calendar days) and shall be removed around January 15 (± 4 calendar days) of the following year. Fall decorations may be maintained from October 1 to Thanksgiving. Any decoration/modification must be done tastefully and to a professional, high-quality standard.

All services to the home including prewiring for electric, phone, gas or cable TV must be installed underground. All private mechanical equipment (A/C units, solar energy junction boxes, pool equipment, etc.) shall be placed behind the side yard fence (see **Section 1.9 for Utilities, Mechanical, and Pool Equipment**) and grouped together away from street/public view. In the event cable boxes are installed; the boxes must be screened from view and grouped together away from street/public view.

1.3 Satellite Dishes and Antennae.

Satellite dishes and antennae shall not exceed one meter in diameter and their location must be approved by the Declarant or their designee prior to installation. All satellite dishes shall also comply with any state and federal guidelines.

Except as expressly provided below, no exterior radio or television antennae or aerial or satellite dish or disc, shall be erected, maintained, or placed on a Lot without the prior written approval of the ACC; provided, however, that:

- a. an antenna designed to receive direct broadcast services, including direct-to-home satellite services, that is one meter or less in diameter; or
- b. an antenna designed to receive video programming services via multipoint distribution services, including multi-channel multipoint distribution services, instructional television fixed services, and local multipoint distribution services, that is one meter or less in diameter or diagonal measurement; or

- c. an antenna that is designed to receive television or radio broadcast signals;

(collectively, (a.) through (c.) are referred to herein as the “Permitted Antennas”) will be permitted subject to reasonable requirements as to location and screening as may be set forth in rules adopted by the ACC, consistent with Applicable Law, in order to minimize obtrusiveness as viewed from streets and adjacent property. Declarant and/or the Association will have the right, but not the obligation, to erect an aerial, satellite dish, or other apparatus for a master antenna, cable, or other communication system for the benefit of all or any portion of the Property.

Except as expressly provided herein, no exterior radio or television antennae or aerial or satellite dish or disc, shall be erected, maintained, or placed on a Lot without the prior written approval of the ACC.

A. Location of Permitted Antennae. A Permitted Antenna may be installed solely on the Owner's Lot and shall not encroach upon any street, Common Area, or any other portion of the Property. A Permitted Antenna shall be installed in a location on the Lot from which an acceptable quality signal can be obtained and where least visible from the street and the Property, other than the Lot. In order of preference, the locations of a Permitted Antenna which will be considered least visible by the ACC are as follows:

- (i) Located in the rear of the home;
- (ii) Attached to the back of the principal single-family residence constructed on the Lot and on the roof within the area above the eave only at a point furthest from the adjacent street;
- (iii) On the rear face of the principal single-family residence located directly below the roof line;
- (iv) On the rear fascia board of the principal single-family residence.

1.4 Sidewalks

All public sidewalks not constructed by Declarant shall be constructed by the Purchaser at Purchaser's sole cost and expense.

1. All sidewalks and lead walks will be a minimum of 3,000 PSI concrete with #3 rebar on a sixteen-inch (16”) grid pattern. All sidewalks and lead walks will be a minimum of 4” thick concrete.
2. All public sidewalks are required to be five feet (5’) wide. Sidewalks must be the minimum grade of 1/4 inch per foot from top of curb. Any previously installed utility structures (i.e., valves, manholes) must be adjusted to match ($\pm 1/4$ ”) the finished grade of the surrounding concrete.
3. Purchaser shall install sidewalks within the street ROW, five (5’) feet from the back of curb for typical street section which is a 28’ street pavement width in a 50’ right-of-way. For locations other than the typical street section, refer to the location as shown on the civil construction plans for that area.
4. All Lead Walks shall be a minimum of four feet (4’) wide. Any steps will be a minimum of four feet (4’) wide by one foot (1’) deep by six and one quarter inches ($6 \frac{1}{4}$ ”) in height.

5. All Lead Walks shall extend to the front public sidewalk or the driveway. If the lead walk extends to the driveway, then the builder must provide a minimum three-foot (3') landscape bed between the front of the home and the lead walk.
6. **Any sidewalks damaged by Purchaser shall be repaired at Purchaser's sole expense prior to closing any home adjacent to the damaged sidewalk. All sidewalks adjacent to a home must be in good condition prior to closing any home.**

1.5 Retaining Walls

A. Construction:

All retaining walls not installed by Declarant shall be constructed by the Purchaser and shall meet the following guidelines:

1. All retaining walls shall be constructed using Millsap stone laid in a random pattern.
2. PVC sleeves shall be installed with a minimum 24-inch depth from top of wall at eight-feet (8') on center. Unused sleeves shall be sealed with mortar to prevent intrusion of water and potential freezing inside the wall during adverse weather.
3. Walls over four feet (4') in height shall be engineered and sealed by a licensed professional engineer.
4. All retaining walls shall be located so that the wall is located fully on the high-side lot to which it is supporting and have the front toe of the wall placed immediately adjacent to the lot line. Any fence whose posts/poles are installed within the wall, is joint ownership between the two adjacent lots regardless whether the fence is constructed within the boundary of the higher lot.
5. Retaining walls shall be setback a minimum of one foot (1') from a sidewalk or driveway.
6. On corner lots, retaining walls located along side lot lines must terminate a minimum of five feet (5') from the back of any front yard sidewalk.
7. If a lot has been cut in order to establish a building pad for the structure, the Builder will provide a retaining wall, if the amount (depth) of the cut needed to construct the home does not allow proper slopes (4' horizontal: 1' vertical maximum slope) to be established.
8. Purchaser shall install a retaining wall, if needed to facilitate proper lot drainage after a home has been built on the lot.
9. Purchaser shall install a retaining wall, if needed to protect existing trees, creeks, ponds or wetlands.

Retaining walls over two feet (2') in height shall be provided with a 3'-4' Orange Safety Fence along the top of the wall at the time the wall is constructed and shall be maintained in place until such time as a side yard or rear yard fence is constructed.

B. Maintenance:

Required structural maintenance/repair shall be the responsibility of the homeowner above the retaining wall.

Any cosmetic maintenance/repair shall be the responsibility of the homeowner below the retaining wall. If a non-residential lot that is owned by the District or Homeowners Association is located below the retaining wall, it is at the discretion of the District or HOA

to perform any cosmetic maintenance/repair. However, the homeowner above the retaining wall has the option of contracting to have the cosmetic repair performed at their own cost.

Fences located above retaining walls along a common lot line, the construction, reconstruction, and/or maintenance of such fence is the joint responsibility of both adjacent homeowners provided that the condition of such fence is subject to construction, reconstruction, and/or maintenance as determined by the HOA. The HOA shall not intervene between homeowners in which one party has paid for the construction, reconstruction, and/or maintenance of such fence and the other party has not paid for their share of the costs. Disputes shall be handled through any available legal means between homeowners.

In a townhome development, retaining walls will be maintained by the HOA Service Area for that development.

1.6 Miscellaneous Walls

1. Walls located within courtyards attached to a home should be construction of materials to match those of the building exterior.
2. Flower bed walls, when visible from the street and located within a residential lot, shall not be higher than thirty inches (30"). If additional height is needed, walls shall be terraced with a minimum four foot (4') wide landscape bed as measured from the front face of wall to rear face of wall.
3. Stone Retaining/Planter Walls are encouraged to be constructed to help break up the facade of the building and help relate the house design to the site. Stone retaining walls and/or planter walls shall match the stone on the home and/or be compatible with the brick on the home.

1.7 Lot Grading

A) Engineering Guidelines

Drainage must strictly conform to the development engineering/construction grading and drainage plans, City Ordinances and any other applicable government authority (county, state, federal, etc...). **Deviations from the engineering/construction grading and drainage plans (as designed by the Engineer of Record on the Record Drawings for the subdivision) will not be allowed.**

All drainage and grading, including existing and proposed grades and proposed finished floor elevation, must be indicated on the Site Plan submittal for any home permit and be designed to conform to drainage plan.

The proper drainage of the lot is ultimately the responsibility of the Builder and homeowner and must conform to the engineering/construction grading and drainage plans, as well as any other governing authorities having jurisdiction on such matters. The Declarant may review the site plan for general conformance of the planned grading to the engineering/construction grading and drainage plans, however ultimate responsibility remains with the homebuilder/homeowner. To resolve conflicts or errors in the engineering/construction grading and drainage plans, the builder or homeowner may request, in writing, a review of each issue by the Engineer of Record and/or the Municipal Utility District Engineer.

Builders are responsible for confirming drainage is still in accordance with the engineering/construction grading and drainage plans upon completion of home construction and

installation of landscaping on a lot.

B) Retaining Walls

Please reference **Section 1.5 for Design Criteria and Section 2.2 for Materials and Colors** for retaining walls.

C) Drainage Swales

Drainage swales are needed to facilitate proper lot drainage in accordance with the required Civil Engineering grading and drainage plans or as required by the natural grade as shown on the topographic maps. These swales should be constructed in such a manner as to:

1. Be maintainable by the Homeowner. (No slopes steeper than 3' horizontal: 1' vertical).
2. Be able to carry the anticipated amount of storm water runoff.
3. Minimize erosion problems within the swale itself. This can be accomplished by sodding any swales which could possibly carry large volumes of water.
4. Home builders shall trench (minimum six-inch, 6", width) the drainage swales (minimum 2' depth) along common lot lines after completion of the home's foundation grade beam excavation and promptly backfill and compact. This will break any poly/plastic lining that may have been installed across the lot as recommended in the Geotechnical report for the development/subdivision to provide moisture-conditioned soil to minimize foundation movement. This cutting of the poly/plastic will help facilitate moisture to soak deeper into the ground along the common lot line.

The location of these swales is up to the Builder/superintendent in charge of each home. Swales shown via flow arrows on engineering/construction grading and drainage plans must be adhered to, as closely as possible. Generally, swales are placed at or near the property lines, to meet the given drainage requirements.

If possible, swales through the center of rear yards should be avoided in anticipation of future improvements such as pools, decks or spas which could potentially block a drainage swale located in these areas. The minimum grade allowed for grass swales is one percent (1%). Lesser slopes may be considered for concrete or stone-lined swales.

D) Side Slopes for Single-Family Lots

The maximum percentage of a slope allowed is 3' horizontal: 1' vertical (3:1), preferable is 4:1. This means for every three feet (3') of horizontal distance, a maximum one foot (1') rise/fall vertically is allowed. Any slope steeper than 3:1 should be retained with a wall or drop grade beam. Homebuilder may be directed to utilize up to an 18-inch drop grade beam/brick ledge along the edge of the foundation in combination with a 4:1 side yard slope to avoid the need for a retaining wall. Any slope approaching a 3:1 slope will be sodded to reduce the possibility of erosion (applicable to Drainage Swales).

1.8 Outbuildings

All garden sheds and outside storage buildings must be indicated on the site plan submission and approved by the Declarant and/or Architectural Review Committee (ARC). Appropriate elevations and details necessary to illustrate the design must be submitted. The Declarant and/or ARC shall consider visibility of the structure, impact on neighboring lots and streets and quality of materials, finish and color when reviewing submissions. **No metal, plastic or**

fiberglass storage sheds shall be allowed. High quality resin sheds (i.e., Suncoast or equal) available at Home Depot/Lowe's may be considered. Sheds must be equal to or less than the height of the property's backyard fence (typically 8-ft max.) and no more than 42 square feet (ground area).

Wooden sheds shall have shingles on the roof to match the house, wall color to blend with the exterior color of the house.

1.9 Utilities, Mechanical and Pool Equipment

It is required that all private mechanical equipment (A/C units, solar energy junction boxes, pool equipment, etc.) shall be placed behind the side-yard fence and screened from the street. (Refer to **Section 2.11 for Fencing, Walls, and Screen**)

1.10 Trash Containers

Trash collection containers shall be stored within the garage or stored out of view behind the rear yard/side yard fence and shall not be visible from the street.

1.11 Typical Setback Minimums (UNLESS SHOWN DIFFERENTLY ON THE FINAL PLAT)

A) Front Facing Garages – 70' width Lot Standards (typical 130' depth)

- 25' Front Yard
- 20' Front Yard Porch (provided front porch is a min. of 8' wide x 5' deep)
- 25' Face of Garage to Street ROW
- 20' Rear Yard
- 7' Side Yard
- 10' Corner Lot Side Yard
- 25' Key Lot Side Yard, the side yard shall line up with the front yard of an adjacent lot

B) Front Facing Garages –60' width Lot Standards (typical 130' depth)

- 25' Front Yard
- 20' Front Yard Porch (provided front porch is a min. of 8' wide x 5' deep)
- 25' Face of Garage to Street ROW
- 20' Rear Yard
- 5' Side Yard
- 10' Corner Lot Side Yard
- 25' Key Lot Side Yard, the side yard shall line up with the front yard of an adjacent lot

C) Front Facing Garages – 50' width Lot Standards (typical 120' depth)

- 20' Front Yard
- 15' Front Yard Porch (provided front porch is a min. of 8' wide x 5' deep)
- 20' Face of Garage to Street ROW
- 15' Rear Yard (typically 20')
- 5' Side Yard
- 10' Corner Lot Side Yard
- 20' Key Lot Side Yard, the side yard shall line up with the front yard of an adjacent lot

D) Alley Served Garages – 50’ width Lot Standards (typical 120’ depth)

- 20’ Front Yard
- 15’ Front Yard Porch (provided front porch is a min. of 8’ wide x 5’ deep)
- 20’ Face of Garage to Alley ROW
- 15’ Rear Yard (typically 20’)
- 5’ Side Yard
- 10’ Corner Lot Side Yard
- 20’ Key Lot Side Yard, the side yard shall line up with the front yard of an adjacent lot

E) Front Facing Garages – 40’ & 45’ width Lot Standards (typical 120’ depth)

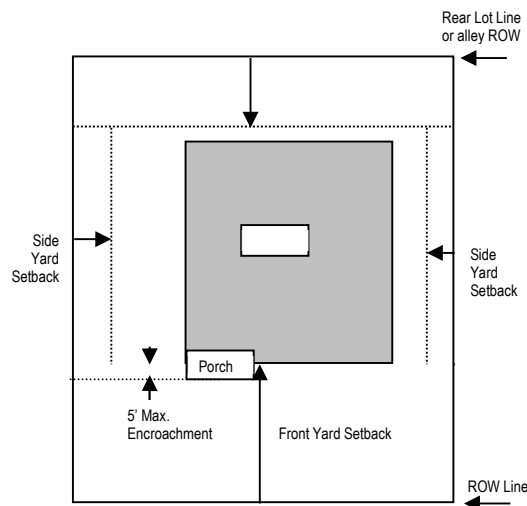
- 20’ Front Yard
- 15’ Rear Yard (typically 20’)
- 22’ Face of Garage to Street ROW
- 5’ Side Yard
- 10’ Corner Lot Side Yard
- 20’ Key Lot Side Yard, the side yard shall line up with the front yard of an adjacent lot

F) Alley Served Garages – 40’ Lot Standards (typical 120’ depth)

- 20’ Front Yard
- 15’ Rear Yard (typically 20’)
- 20’ Face of Garage to Alley ROW
- 5’ Side Yard
- 10’ Corner Lot Side Yard
- 20’ Key Lot Side Yard, the side yard shall line up with the front yard of an adjacent lot

G) Townhomes (Alley Served Garages)

- 15’ Front Yard
- 5’ Rear Yard, if any, depending on depth/width of individual units
- 20’ Face of Garage to Alley ROW
- 0’ Side Yard; 5’ Side Yard at end of Structures/Buildings
- 10’ Corner Lot Side Yard
- 15’ Key Lot Side Yard, the side yard shall line up with the front yard of an adjacent lot



1.12 Texas Commission on Environmental Quality (TCEQ) (EPA requirements in Texas)

PURCHASER (New home builder only) shall file a Notice of Intent (NOI) to the TCEQ immediately upon purchasing the lots and follow all rules pertaining to erosion control. Purchaser is responsible for erosion control maintenance and repair until yards are sodded and established. Upon sale of each home, a Notice of Termination (NOT) shall be filed immediately. The erosion control installation and maintenance of an inlet located in front of a lot, whether that lot has been purchased or a certificate of occupancy issued, is the responsibility of the home builder who is assigned the lot in their contract and shall remain their responsibility until the drainage area for the inlet is 90% stabilized per TCEQ requirements.

1.13 Pools

Pools are restricted to the following types of construction: Gunite, Poured Concrete, Fiberglass Shell and Hybrid Fiberglass. No above ground pools (as defined by State Guidelines) will be allowed, Homeowners may request a variance from the HOA. Pools, pool decking, fencing, related equipment and structures should be designed to integrate with the natural topography of the site. Backwash must be directed to the street. Backwash onto neighboring properties will not be allowed. **Pool Plans must have Declarant approval.**

1.14 Consolidated Lots

With the approval of the Declarant, any owner of one or more adjoining sites (or portions thereof) may consolidate such sites or portions into one single family residence building site with the privilege of placing or constructing improvements on such resulting site, in which case setback lines shall be measured from the resulting side property lines rather than from the site lines as indicated on the recorded plat. The greatest depth of front yard setback will be used.

2.0 ARCHITECTURAL DESIGN

2.1 General Design and Configuration

Purchaser shall build at least one fully furnished model per product line.

Purchaser shall submit all proposed home plans to Declarant for review and approval prior to starting construction on any Lot. Master home plans may be approved for construction within the community.

Once the Declarant has approved a set of final home plans and specifications submitted by Purchaser for a house to be constructed on a Lot, Purchaser may use such plans and specifications for other homes it will construct in the Property provided:

1. There shall be at least two (2) Lots on the same side and opposite side of the street between Lots with houses using the same, or substantially the same, floor plan and/or elevation;
2. There shall be at least one (1) Lot on the opposite side of the street between Lots with houses using the same floorplan, but having different exterior elevations and brick; and
3. No houses with the same or substantially the same exterior elevations or brick shall be constructed on Lots directly across the street from each other, at "T" intersections where homes are visible from each other or within a cul-de-sac.
4. Declarant reserves the right to permit exemptions to the spacing required in this Section.

5. Repetition among townhome buildings must be addressed between Declarant and Purchaser during the lot layout stage. Alignment of the street, mixing up the streetscape with 3, 4, 5, and 6-unit structures/buildings will help offset the appearance of repetitive architecture.

See **Exhibit D for Frequency of the same plan, elevation, and brick.**

2.2 Materials and Colors

Builders may reduce or eliminate masonry requirement if the home elevation is of a style or theme that makes masonry inappropriate, such as a Cape Cod or a Craftsman. Declarant, in its sole judgment, shall determine if the reduction is warranted.

No Queen size or undersized bricks are permitted. Painted, glazed or reclaimed brick are permitted with Declarant approval.

Stone left with a natural patina is permitted. Cultured Stone is permitted provided it matches the approved natural stone selections.

A) Interior Lots and Corner Lots

1. One-story homes must be 100% brick on the front. Brick shall extend a minimum of 10' from the front corner of a home on the sides of the home.
2. Two-story homes must be 100% brick on the front. Brick shall extend a minimum of 10' from the front corner of a home on the sides of the home.
3. The front face of homes must comprise of 25% openings, which may include entry door, garage door, dormers, and windows.
4. On corner lots, the side of the home facing the adjacent street must comprise of 10% openings, which may include doors, windows, or dormers or other approved architectural feature to break up a solid brick wall.
5. Builder contracts may exempt certain builders from the brick requirements in order to promulgate a differing product offering to potential buyers. **Refer to Exhibit F for exemption areas.**
6. Townhomes may have Hardiplank siding on the sides between adjacent Structures/Buildings. However, Structures/Buildings whose ends are visible from the street and/or open space shall be 100% brick.

Note: Lots are considered corner lots if predominately bordered on two sides by any public street (whether or not those two streets intersect). Lots residing on a cul-de-sac, but also siding to another street, must comply with the brick, fence, sidewalk, and landscaping requirements as if the home was on a corner lot.

All wood columns and shutters must be either stained or painted to match the trim.

Lots backing or siding to F.M. 741, Heartland Parkway, Hometown Boulevard, and all other collector streets (min. 60' right-of-way width), schools, or parks must either be 100% brick on side or rear, except above roofs or prohibited by code.

Only Hardiplank siding will be allowed. All trim and paint colors will have Declarant approval before installation. To calculate brick requirements, exclude doors, gabled windows, porches and any areas above the roof line which will not support brick.

Address plaques are required to be cast stone and 12" x 12" x 3" on brick or masonry faced homes. Address plaques on Hardiplank faced homes are required to use the Cast Aluminum plate specification. Both address plaque examples/specifications are per attached **Exhibit E**.

Rear entry (alley served) houses and townhomes shall also have 4" nail-on aluminum address numbers on or adjacent to the garage door where emergency personnel can clearly identify the address of the house and townhome from the alley.

Note: Please refer to **Section 5.8** for the definition of a gable and compliance with brick percentages.

Purchaser shall comply with the Special Brick Requirements set forth on, **Exhibit F**, as amended per each subdivision as developed.

2.3 Roof Construction and Materials

1. A minimum of 6:12 slope roof pitch is set as a standard.
2. Porches on a two-story home may be 4:12. However, no flat roofs are allowed as a major structural element.
3. Minimum 25-year warranty composition shingle is required, with colors approved by Declarant prior to installation.
4. Fascia must be a minimum of six inches (6") deep. No metal fascia is permitted.
5. The color of all shingles may vary. Declarant further reserves the right to reject any color and to force the builder to remove any shingles installed prior to such approval. Metal roofs for porches, dormers or eyebrow arches are acceptable. The Declarant reserves the right to approve all shingle type, style and colors. Frieze molding shall be a minimum of six inches (6").
6. 3-tab shingles are not permissible.

2.4 Garages Facing Public Streets and Alleys

1. For all homes, garages shall be at least two (2) cars. Three car garages are permitted without Declarant approval.
2. All garage doors shall be compatible with the exterior design of the homes and have raised or decorative panels (no flat panels permitted).
3. The minimum interior dimensions of all garages shall be 18' x 20'. A double car tandem garage formation shall be approved with house floorplan for 40' front entry lots by the Declarant.
4. All front-entry driveways must be a minimum of twenty feet (20') in length from the front property line (right-of-way) to the garage. This also includes Rear entry driveways must be a minimum of twenty feet (20') in length from alley right-of-way to the face of the garage.
5. Driveways shall be a minimum of sixteen feet (16') wide; however, Purchaser may utilize the five-foot (5') side yard setback for a portion of the driveway installation, provided that side yard drainage is not impeded. This requirement remains in effect even if a double car tandem garage formation is approved.
6. Purchaser shall construct driveways without altering drainage swales.
7. Driveway aprons shall be a minimum of 4,000 PSI concrete with #3 rebar on a sixteen-inch (16") grid pattern. All driveways shall be a minimum of four inch (4") thick

concrete. Driveway aprons must be inspected by the Building Inspector prior to pouring.

8. Homebuilders shall utilize the method of a horizontal curb cut for the driveway connection to the street. Excavation of the driveway within the street right-of-way shall not be made prior to 24 hours before the pouring of the driveway.

A) Rear Entry Townhomes Narrow Area Between Driveways

1. Where driveways are located adjacent to each other (less than six-foot, 6', separation), river rock or similar material that will not wash in the alley shall be placed in the space between the driveways.

2.5 Roof Accessories

A) Stacks and Vents

1. Plumbing stacks and roof vents must be painted to match roofing colors.

B) Flashing, Gutters and Downspouts

1. Exposed flashing and downspouts must be painted to blend with the adjacent materials.
2. No unpainted attachment straps will be allowed.
3. Step flashing should be consistently applied with even steps of 90 degrees.
4. Straight line counter flashing matching the slope of the roof is recommended.
5. All flashing should be painted to blend with adjacent materials, not white or black.
6. Gutters or 12" soffits are required as per FHA/VA Guidelines.
7. Gutters if installed will be a metal seamless gutter system.
8. Downspouts shall not discharge into a landscape bed whereby mulch is likely to be washed out of the landscape bed. Extensions of downspouts or underground drainage piping with a pop-up head outside of the landscape bed is required.

C) Chimneys

1. All chimneys must meet Industry Safety Guidelines.
2. Chimneys located on the exterior of the home shall be constructed completely to the ground with a foundation so as not to appear cantilevered from the building.
3. Chimneys located on the front or side walls of the home the fireplace must be brick or direct vent. All chimneys will have an architectural terminus cap.
4. Chimneys located on an interior wall or the rear exterior wall of the home may be Hardiplank or direct vent.

D) Skylights/Solar Appurtenances

1. Only flat skylights are permissible on exposed, sloped roofs.
2. Bubble or pyramidal skylights will be considered on concealed small flat roofs or roof areas hidden from general view.
3. No skylights will be permitted on front slopes of pitched roofs.
4. Solar design should be considered in the early design stages of the house.

5. Any solar installations shall be installed to give the appearance of a skylight, and installed with a finished trim material or curb, and located so as not to be visible from the street.
6. Active solar appurtenances shall be non-reflective and integrated with the building architecture.
7. Skylight panels should be of a smoke or bronze color, not white.
8. With respect to Townhomes, skylights are NOT permitted.

Note: Please refer to **Section 2.15** Solar Energy Devices for additional specifications and requirements.

2.6 Inappropriate Materials

Inappropriate use of materials and colors will not be allowed. Examples of such inappropriate exterior materials are concrete, plastic or simulated flowers, simulated brick materials, concrete bricks (unless approved by Declarant prior to installation), plastic, and particle board siding materials or simulated stone, unless approved by Declarant. The Declarant has deemed the use of the following materials for predominant exterior finishes as incompatible with the design objectives.

1. Sheet Metal Siding
2. Painted Concrete, other than foundation
3. Mirrored Glass
4. Ceramic Tile
5. Brightly Colored Masonry
6. Clear or Gold Anodized Aluminum Windows
7. Certain types of Artificial Stone
8. Ferro-Cement Siding
9. Exposed Cinder Block
10. Concrete brick (any brick with surface applied, non-integral, color) **unless approved in writing by the Declarant.**
11. Vinyl or aluminum siding, except on soffits, porch and balcony ceilings
12. Log siding
13. Synthetic siding
14. Certain types of brick with non-integral colors

Limiting the number of finish materials and avoiding contrived combinations is required. Front facades on two-story homes shall be of limited materials (all brick, all siding, etc.) except where a change of material is required for structural reasons or architectural styling.

2.7 Windows, Doors

All windows shall be a minimum single or double hung vinyl or wood double pane windows. Careful attention should be given to the proportion, form and detail of all windows.

Each residential front facing façade shall contain a minimum twenty-five percent (25%) windows and doors. Each residential side façade facing a public street or open space shall contain a minimum of two (2) windows and/or doors for single story homes and three (3) windows and/or doors for two-story homes; the windows and/or doors count for two story homes is the total number on both the first and second story. Zero lot line homes will be exceptions to these rules and will need to be approved by the Declarant.

Pop-outs, reveals, insets, overhangs, screening devices and trim should define all window and door openings. Consistency of detailing of openings and trim treatment will be considered by the Declarant as part of the review process.

Windows should be clear, low energy thermopane windows. Tinted glass of bronze, grey or smoke colors may be appropriate in some cases but require prior Declarant approval. No reflective glass or reflective tinting may be used. The Declarant may request changes to the exterior elevations to achieve consistency of detailing and expression.

Mullions may be eliminated from windows with Declarant approval.

When possible, it is encouraged for dormers to provide natural light into the home's interior. Dormer windows are to be a double pane window with clear glass on the front windowpane and an obscure glass on the backside of the windowpane when used in the attic.

When visible from any street or open space, storm shutters or windows may be installed over openings only with Declarant approval. Shading structures are permitted only if they complement and enhance the general design. Fabric awnings are not permitted in the front of homes but may be approved by ARC approval on the rear of homes, but fabric and frame must match the color of the home (brick, trim, roof, etc.). Shutters (faux or working) must be of sufficient size to enclose the entire window to which it is adjacent. Sliding glass or French doors must open onto a useable, exterior deck, patio, or balcony. Window and porch screening must be a bronze or charcoal; mill finish, or brightly anodized aluminum will not be allowed.

Entry areas should receive emphasis with an accent on porches, courts, walkways, and use of quality door materials. All front doors should be compatible with the exterior design of the house and shall be a minimum of three feet (3') wide by six foot eight inches (6'-8") in height. The front door shall be a raised panel door, a solid wood door or a leaded glass door.

2.8 House Foundation Stem Walls

Faced stem wall construction is required for conditions where the finish floor is two (2') feet or more above natural grade of the lot. Stem walls or small foundation walls poured in conjunction with a flat slab to create a level building pad will occur on a number of lots. Wall design must be taken into consideration in the building elevation. All stem walls over two feet (2') tall (except front porches) will be faced with a material approved by Declarant

2.9 Landscape Design – See Exhibit G for Landscape Plantings

All landscaping and irrigation required shall be installed by Purchaser of a residential lot and must be installed prior to home closing. Landscaping must NOT mix plants better suited for moist conditions with plants better suited for arid/dry conditions. Builder may request a variance for tree installation during the months of June, July, August, and September.

A. Lawns

Front yards to the side yard fence on all lots, the area between the fence and alley in the rear yard and side yards to the curb on corner lots must be sodded only with Bermuda. Builder may request a variance to use St. Augustine, Centipede or Zoysia grass, though edging may be required on a new home installation, if adjacent homeowners are not existing yet to provide their approval/concurrence.

Rear yards must be sodded with Bermuda. Homeowner may request a variance to use St. Augustine, Centipede or Zoysia grass.

B. Shrubs

All Single-Family Detached Homes shall comply with the following planting requirements. All townhome developments shall have shrub requirements set per Structure/Building, in lieu of individual lots. The width of each Structures/Building shall correspond to lot width for the required landscape shrubs and tree plantings. For example, a 4-unit building where each unit is 22' in width, the total Structure/Building width is 88' and therefore comply with the 80'-99' category.

All 40'-49' lots shall have a minimum of: three (3) ten gallon, eight (8) five-gallon and five (5) one-gallon shrubs planted in the front yard of the lot.

All 50'-59' lots shall have a minimum of two (2) 6' foot shrubs, fourteen (14) three-gallon and ten (10) one-gallon shrubs planted in the front yard of the lot.

All 60'-69' and 70'-79' lots shall have a minimum of three (3) ten gallon, fourteen (14) five-gallon, and twelve (12) one-gallon shrubs.

All 80'-99' lots shall have a minimum of eight (8) ten gallon, twenty (20) five gallon, and eighteen (18) one-gallon shrubs.

All 100'+ lots shall have a minimum of twelve (12) ten gallon, twenty-five (25) five gallon, and twenty-four (24) one-gallon shrubs.

Interior Lots - All plant material is to be planted along the front elevation of the home and may wrap three feet (3') (allowing a minimum of three shrubs) around the side of the home

Corner Lots - In addition to the requirements for the interior lots above, all corner lots shall continue (on the side of the house facing the street) the shrub planting along the side of the home and the side yard fence with appropriate irrigation. The shrubs should be five (5) gallon in size and planted every 24 inches on center. The shrubs shall be kept trimmed behind the edge of the sidewalk. **Refer to Section 2.11 for fence placement.**

Placement of trees and/or shrubs in the front landscape shall not block or obscure the view of the address block on the house.

Approved Shrubs

- Loropetalum 'Petite Delight' (Loropetalum chinensis 'Petite Delight')
- Indian Hawthorn 'Clara' / 'Snow White' (Raphiolepis indica 'Snow White' / 'Clara')
- 'Knock Out' Rose (Rosa 'Knock Out')
- Carissa Holly (Ilex cornuta 'Carissa')
- Dwarf Yaupon Holly (Ilex vomitoria 'Nana')
- Abelia 'Rose Creek' (Abelia x grandiflora 'Rose Creek')
- Prostrate Rosemary (Rosmarinus officinalis 'Hardy')
- Texas Sage 'Green Cloud' (Leucophyllum frutescens 'Green Cloud')
- Bar Harbor Juniper (Juniperus horizontalis 'Bar Harbor')
- or if the shrub is located in a location where it is predominantly in shade, alternative shrubs may be proposed to the ARC for approval;
- or as amended/approved by the Declarant.

C. Trees

1. Townhomes

For each Townhome Structure/Building, two (2) 65-gallon crepe myrtle trees shall be planted in the front yard of each Structure/Building consisting of 3-unit and/or 4-unit

Structures/Buildings. Structures/Buildings consisting of 5-unit and 6-unit Structures/Buildings shall have a minimum of three (3) 65-gallon crepe myrtle trees.

2. **Front Entry (street accessed garages) single-family attached homes**

In front of each 40', 45' and 50' lot, one (1) three-inch (3") caliper (minimum) (65-gallon, 3" – 3½" caliper) shade tree shall be planted in the front yard. Front yard trees in the right-of-way shall no longer be required. In addition, corner lots must also have two (2) two and one-half inch (2 ½") caliper (minimum) (45-gallon, 2½" – 3" caliper) shade trees planted along the side of the home within the street right-of-way, unless a stop sign is present in the right-of-way, then only one (1) side yard shade tree is required, 35'-50' from the rear lot corner.

In front of each 60' and 70' lot, two (2) three-inch (3") caliper (65-gallon, 3"-3½" caliper) (minimum) shade trees are required in the front yard. Front yard trees in the right-of-way shall no longer be required. Corners lots will require two (2) three-inch (3") caliper (65-gallon, 3"- 3½" caliper) (minimum) shade trees to be planted with minimum 40' spacing along the side of the lot, within the street right-of-way. If a stop sign exists within the right-of-way along the side of the lot, the tree closest to the stop sign must be a minimum of 30' from the stop sign/curb return.

3. **Rear Entry (alley accessed garages) single-family attached homes**

In front of each 40', 45' and 50' lot, rear entry, one (1) three-inch (3") caliper (minimum) (65-gallon, 3" – 3½" caliper) shade tree shall be planted in the front yard. Trees in the right-of-way shall no longer be required. In addition, corner lots must also have two (2) two and one-half inch (2 ½") caliper (minimum) shade trees planted along the side of the home within the street right-of-way, unless a stop sign is present in the right-of-way, then only one (1) side yard shade tree is required, 35'-50' from the rear lot corner.

Tree caliper is measured six inches (6") from the base of the tree at natural ground.

Approved Large Shade Trees and Canopy Trees

- Cedar Elm
- Chinese Pistache (Male Variety)
- Chinquapin Oak
- Live Oak
- Red Oak (Shumard), (Note: Red Oaks have not typically survived/thrived in Heartland's soils).
- Texas Ash
- Bigtooth Maple
- Paperbark Maple
- Trident/Shantung Maple
- Brandywine Maple
- Additional trees may be submitted to the ARC for consideration.

Declarant reserves the right to approve/reject any tree.

No trees shall be planted within 15 feet (15') of a corner curb return at street intersection, so as not to obstruct a future stop sign or streetlight.

All trees planted shall be limbed up to provide a minimum of 4' clear trunk from adjacent turf.

Tree placement and tree specimen list is shown in **Exhibit H**.

All homes siding to or fronting a school site must be planted with Live Oak trees.

Street trees (trees between the curb and sidewalk in the right-of-way) must be maintained and limbed up to a minimum of 15' above the adjacent curb elevation to allow large trucks and buses to pass in the street without hitting tree limbs.

If property owners desire to plant additional trees, allowable ornamental and small canopy trees are as follows:

- Aristocrat Pear
- Yaupon Holly (tree shape)
- Tuscarora Crape Myrtle
- Dogwood, Cherokee Chief (ruby)
- Dogwood, Cloud 9 (white)
- Dogwood, Roughleaf
- Dogwood, Springsong (rose red)
- Dogwood, Stiff Cornel
- Additional ornamental trees may be submitted to the ARC for consideration.
- Foster Holly
- Japanese Maple
- Natchez Crape Myrtle
- Royal Purple Smoketree
- Redbud (all varieties)
- Savannah Holly (tree shape)
- Little Gem Magnolia
- Skyrocket Juniper

Note: Ornamental and Small Canopy Trees are **NOT** allowed to be substitutions for required large shade and canopy trees.

2.10 Irrigation Design

All lots shall have automatic irrigation systems installed for the front yard. Sprinkler systems for the rear yards are strongly encouraged.

Townhome Structures/Buildings shall have an irrigation system that may cover the landscape/yards around a single Structure/Building and/or multiple Structures/Buildings. The system must be operational for each Structure/Building as it is provided a Certificate of Occupancy for the entire Structure/Building.

1. All irrigation systems must be of an underground automatic type with pumps and controllers located in the garage.
2. All automatic irrigation systems are required to have head-to-head coverage or closer.
3. All irrigation systems shall have municipality approved back flow preventer devices.
4. "Pop-up" spray and rotary heads are encouraged for turf areas and drip irrigation is encouraged for bed areas.
5. Where exposed pipe extensions are necessary, they should be either copper or a dark color.
6. Irrigation heads should be placed to prevent spraying onto paved areas, onto amenities or into community buffer areas.
7. Heads should be placed adjacent to the curb and spray into yard whenever possible.
8. Tree bubblers are required for all tree plantings.
9. It is desired for valve boxes and lids to match the adjacent surface color. Tan or brown valve boxes for rock and mulch areas and green boxes for turf areas.
10. No creek or lake water withdrawal for homeowner irrigation purposes is allowed.

2.11 Fencing, Walls and Screening

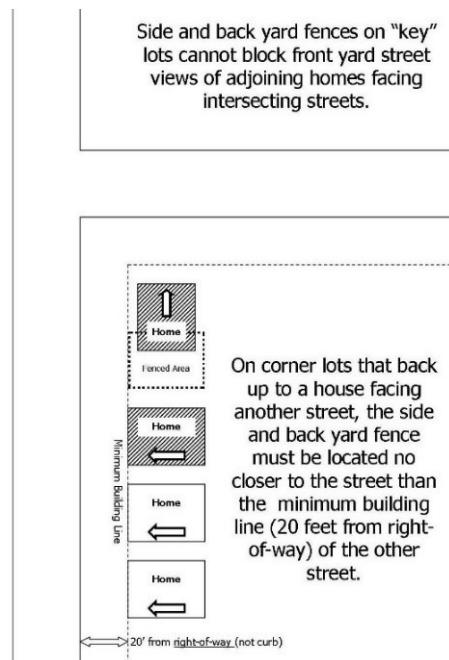
Privacy fencing is required on all lots. Fences must be a minimum of six feet (6') tall, unless otherwise approved in writing by Declarant. All fence posts must be steel.

1. Fences shall be constructed of a minimum Douglas Fir Dog-Ear Pressure Treated Wood Fence Picket stained and shall have steel posts. Fence shall be secured to the steel post by a metal “U” bracket on every rail. A 6’ fence will have three rails per section. All fence slats will be secured by 2 aluminum ring shank nails per rail.
2. All fences shall be constructed with the finished side facing out when visible from the street. No fence posts shall be visible from any street, alley or open space.
3. Front sections of fences shall tie into the house no less than 5’ and no more than 15’ from the front corner of the house. Regarding a fence along a common property line between homeowners, both homeowners shall share in the cost for repair/replacement of said fence, not withstanding, one homeowner may pay for the common fence repair/replacement, if desired, but not required.
4. No post shall be visible from any street, alley, open space or open lot within the community of the home being constructed.
5. 50’ and less lot widths: ALL fences (corner lot, side yard, and rear yard fences) which are visible from a street are NOT required to be board-on-board but must have a cap and trim board at the top, mow board at the bottom (trim board and mow board are to be facing out), steel posts, and stained. The ARC may suspend at any time the use of pre-stained or dipped panels if the stain applied is too thin and/or wears off in less than one year. All fences shall be stained with **Sherwin Williams Cedarbark 3511 Semi-transparent stain**. Refer to **Sections 2.11.A** and **2.11.B** for more information.
6. 60’ and greater lot widths: ALL fences (corner lot, side yard, and rear yard fences) which are visible from a street shall be board-on-board with a cap and trim board at the top, mow board at the bottom (trim board and mow board are to be facing out), steel posts, and stained. The ARC may suspend at any time the use of pre-stained or dipped panels if the stain applied is too thin and/or wears off in less than one year. All fences shall be stained with **Sherwin Williams Cedarbark 3511 Semi-transparent stain**. Refer to **Sections 1.2.11.A** and **1.2.11.B** for more information.
7. Fences along alleys are required to be stained.
8. Stains shall be reapplied when the fence is visibly worn or faded. The initial home builder shall warranty the stain against significant fading (deemed necessary to re-stain by the opinion of the HOA) for one (1) year from the date of application of the stain. This warranty is void due to homeowner negligence in allowing the irrigation heads to spray against the fence causing fading/discoloration and/or other homeowner caused issues.
9. To reduce discoloration of existing fences, use a pressure washer with bleach, then seal.
10. Corner lot and side yard fences shall be set five feet (5’) from the side of the home or twenty feet (20’) from the curb which ever provides the most side yard for the homeowner. A three (3’) foot landscape bed for the shrubbery shall be created adjacent to the fence.
11. Alley Lots:
 - (a) Fences adjacent to a driveway must be offset by a minimum of one foot (1.0’) from the edge of the concrete.
 - (b) Upgraded fences on the rear of alley lots shall wrap around the curve of the alley, that leads to the street, to the point of the side yard equals to the rear of the house.
12. Fence posts must be set a minimum of two feet (2’) below finished ground or top of wall.

13. Fences located along a common lot line whether above a retaining wall or not, the construction, reconstruction, and/or maintenance of such fence is the joint responsibility of both adjacent homeowners provided that the condition of such fence is subject to construction, reconstruction, and/or maintenance as determined by the HOA. The HOA shall not intervene between homeowners in which one party has paid for the construction, reconstruction, and/or maintenance of such fence and the other party has not paid for their share of the costs. Disputes shall be handled through any available legal means between homeowners.
14. Any fence desiring to being upgraded by a homeowner beyond the minimum required in these guidelines, the cost to the adjacent homeowner related to the construction, reconstruction, and/or maintenance of such fence shall be the cost for the minimum required fence, unless the adjacent homeowners have a written agreement to share in the cost of the upgraded fence.
15. Front-entry homes on lots that back up to an alley, must provide a gate for such homeowner to access the alley to mow the alley parkway between his/her fence and the edge of the alley.

A. Common Area Fence Tie-Ins

When parcels adjoin a common area fence, connection of side yard fences to the masonry columns of common area fences is encouraged when feasible (provided that the side yard fence is set back at least five feet (5') from the front line of the home). When such side yard fence connections are made, they should be connected to the center of the masonry column that is part of the common area fence.



B. Special Fencing

Fencing visible along F.M. 741, Hometown Boulevard, Fletcher Road, Heartland Parkway, or any other roadway within Heartland whose right-of-way exceeds 50', a school, a park, or amenity center must be built with No. 1 grade cedar or better, board-on-board, with a 2"

x 6” minimum cap and trim board at the top, mow board, (trim board and mow board are to be facing out) steel poles, and a **Sherwin Williams Cedarbark 3511 Semi-transparent stain**. All fences shall be a minimum of 6’ tall and have 3 rails per panel and all fence slats will be attached with two aluminum ring shank nails per rail.

Examples of locations of which Purchaser shall comply with the Special Fencing Requirements set forth on **Exhibit B**.

2.12 Exterior Lighting

Light sources should be unobtrusive or concealed. No spillover of light should occur on neighboring properties and lighting must be shielded to prevent glare. Tree up-lighting should be concealed with groundcover or in shrub masses. Exterior flood lights are to be directed away from neighboring homes and yards.

The wattage of exterior building mounted lighting is limited to 150 watts, maximum. No lantern-style, "barnyard" type, or sodium vapor light (yellow light source) is acceptable. Spotlights and/or floodlights cannot be mounted to the front elevation of the house (may be allowed if mounted discretely under the eave).

2.13 Single-Family Detached Home Size

Home size limitations are as follows:

Lot Width	Min. SF	Max. SF	Notes
40’-49’	1,000	2,200	Max. SF waived at this time
50’-59’	1,250	2,600	Max. SF waived at this time
60’-69’	1,500	3,000	Max. SF waived at this time
70’-79’	1,600	3,500	Max. SF waived at this time

Note: Minimum and maximum square footage limits are based upon conditioned/heated square feet of interior space, unless modified in the home builder contract.

2.14 Decks, Porches and Exterior Stairs

The design of outside living spaces shall be coordinated and integrated with the design of each home.

Decks – Front porch decks are required to be a material other than broom finished concrete (i.e. stained, patterned aggregate simulated wood or wood deck). Rear and side yard decks shall not unduly infringe on the privacy of neighboring homes. Decks should be sensitively sited and incorporate private screening or plantings to increase full and effective use. Decks shall be designed to minimize unsightly supporting structure.

Porches – Front porches are not required, but strongly encouraged. All front porches shall be a minimum of five feet (5’) in depth and the width shall be at least eight feet (8’) in length when located on the front of the home. Porches may extend a maximum of five feet (5’) into the front yard setback where a minimum 20’ front yard setback exists. Any porch design that

does not comply with these standards are allowed but will not be treated as a porch but considered part of the main structure of the house for purposes of these design guidelines. Side yard porches when designed with the home must be a minimum of 4' x 10'.

Exterior Stairs and Entry Steps - Exterior stairs to upper-level deck areas shall be integrated with the structure and shall be unobtrusive and painted or stained to blend with the house trim or exterior color finish of the home.

2.15 Solar Energy Devices

For purposes of these Architectural Guidelines, the term “Solar Energy Panel” means a panel device or system designed primarily to collect solar energy, and collect and subsequently use solar energy as thermal, mechanical, or electrical energy. Solar energy panels may not be installed without prior written approval of the Architectural Control Committee. Solar Energy Panels are not permitted on Townhome Structures/Buildings. ALL COMPANIES INSTALLING SOLAR ENERGY DEVICES MUST OBTAIN A PERMIT FROM THE DISTRICT AND PAY APPROPRIATE PERMIT FEES PRIOR TO COMMENCING ANY WORK AT A HOME IN HEARTLAND.

A) Solar Energy Panels will not be allowed if:

1. adjudicated by a court to be in violation of any law;
2. installed on property owned or maintained by the Association;
3. installed within the Common Areas;
4. located anywhere but on the owner’s roof or in his/her fenced-yard or patio;
5. the device extends beyond the roofline;
6. taller than the fence line;
7. the installation voids material warranties;
8. installed without prior approval by the Architectural Control Committee; or
9. the device would “substantially interfere with the use and enjoyment of land by causing unreasonable discomfort or annoyance to persons of ordinary sensibilities.”

B) The Solar Energy Panels intended to be installed must:

1. where roof installation is contemplated, conform to the slope of the roof and the top edge of the Solar Energy Panel shall be parallel to the roof ridge;
2. the frames, support brackets, or any visible piping or wiring must be of a silver, bronze or black tone, whichever blends most effectively with the roof;
3. be of a color or finish which blends, to the greatest extent possible, with existing roof color;
4. ground mounted system(s) shall be as small as possible, located in rear or side yards and screened from neighboring properties by fencing or landscaping; and
5. not be placed on the front elevation of the home.

C) Electrical equipment on side of homes:

1. All equipment, other than the solar panels on the roof (or solar panels located in another approved location), shall be located behind the side/rear yard fence or screened with approved landscaping and out of view from the street, common area, and neighboring homes.

D) In order for the installation of Solar Energy Panels to be considered, a homeowner must submit to the Architectural Review Committee:

1. a copy of the existing site plan showing the house and any accessory structures, significant vegetation, property lines and the proposed location of the Solar Energy Panels;
2. a drawing or photographs showing the proposed location of the Solar Energy Panels and description of any visible auxiliary equipment;
3. catalog photographs or manufacturer's "cut sheets" of all components including dimensions, colors, materials, etc.; and
4. a plan for proposed landscaping or screening for ground mounted Solar Energy Panels.

E) Repair / Removal:

1. Panels, mounting devices, etc. must be repaired or replaced within 120 days of date of damage.
2. If the Solar Energy Panels are removed, the roof must be restored to its original condition within 60 days of the date of removal.

3.0 SIGNAGE

3.1 Signage Program

Declarant will be installing a coordinated signage program for Heartland. The signage program will include directional signs and village signs identifying builders and price range.

1. No bandit signs will be allowed within the community. This includes directional signs and small portable signs.
2. All signage installed by Purchaser, including model home signs, must be approved in writing by Declarant prior to installation.
3. No banners on homes or fences or in yards will be allowed.
4. No other signage is allowed (including supplier or contractor advertising).

3.2 Real Estate Signs

Each dwelling unit may erect one (1) six square foot real estate sign to advertise only the sale of the premises upon which the sign is located. The real estate sign must be located on the Lot it is advertising and not in any Common Area or on public property.

All Signage for home builders must conform to these sign design guidelines, include the Community logo, use the community colors and utilize a double T stake.

Three types of temporary signs are allowed: temporary Builder signs, temporary model home

signs, and real estate's sales signs. Typical sign details are shown in **Exhibit I** specifying size, materials and method of construction for all Signage. All Signage design and placement will require Declarant approval.

1. Open House signs must be professionally made and may be placed in the yard only during the hours of the event.
2. Only one sales sign per lot.
3. Open houses may only be held on Saturday and Sundays.
4. No directional signage for Open Houses may be placed on any part of Heartland's property or on any lot within the Heartland Development.
5. No Signage will be allowed in a street, off-site on neighboring property, or mounted on buildings trees or poles.
6. All signs must be professionally made/manufactured and maintained in a neat, clean appearance. Old, dirty and/or damaged signs must not be reused. **No handwritten "For Sale" signs are allowed.**
7. "FOR LEASE" or "FOR RENT" signs are NOT allowed in Heartland.
8. Signs not in accordance with these guidelines will be confiscated immediately and disposed of.
9. Signs are to be a 30"x 24" standard size sign and include the following:
 - a) No Realtor Logo will be allowed.
 - b) "FOR SALE"
 - c) Name of Realtor
 - d) Name of Agent
 - e) Realtor contact name and phone number.
 - f) "Under Contract" and "Sold" banners may be added only in Heartland colors and must be on a rider.

3.3 Builder Signs

Signs must identify the Builder, lot number and sales status (Available, Under Contract, or Sold). The sign may be placed on the lot at the time of optioning the lot before construction begins, and it must be removed at occupancy. The only signs allowed shall be Heartland lot signs approved by the Declarant and incorporating the community logo. All signs must be removed upon sale of the residence. Signs are to be 30"x 24" standard size sign and include the following:

1. "SOLD" or "AVAILABLE"
2. Name of Builder (Builder logo is allowed)
3. "Under Contract" Banners may be added only in Heartland Colors and must be on a rider.

3.4 Builder Model Home Sign

Each model home may erect a sign indicating the Builder's name in accordance with the sign design guidelines. The only signs allowed shall be Community model lot signs. No bandit signs or feather signs are allowed. Signs are to be 30"x 24" standard size sign and include the following:

1. "MODEL HOME"
2. Name of Builder (Builder logo is allowed)

3.5 Other Signs

Other Approved Signs which may be placed within the Community are as follows:

1. Professional made Security Signs of no greater than one square foot.
2. Political signs may be erected upon a Lot by the Owner of such Lot advocating the election of one or more political candidates or the sponsorship of a political party, issue or proposal, up to one sign for each candidate, party, issue or proposal, provided that such signs shall not be erected more than 90 days in advance of the election to which they pertain and are removed within 15 days after the election. Political Signs may not be more than four feet by six feet.
3. One Sign celebrating an event or an accomplishment, such as a baby's arrival or a child's school achievement, provided the sign is tasteful, modest in size, and removed within 7 days after it is displayed.
4. A temporary sign identifying the home as the site of a social event is permitted for 24 hours.
5. With regard to Estate Sales and Garage Sales, refer to the Heartland Community Rules and Regulations, December 2011, or as may be amended from time to time.
6. Signs or notices placed in the yards by the Homeowners Association.
7. Any other types of signs must be approved, in writing, by the Homeowner Association prior to installation.
8. The Heartland Community Rules and Regulations, as amended from time to time, supersede the guidelines stated in this section.

4.0 CONSTRUCTION SITE STANDARDS

4.1 Materials Storage / Site Cleanliness / Erosion Control

It is imperative that all sites be maintained in a clean and tidy manner.

A) Materials Storage

1. Unsightly construction or non-maintained sites will not be tolerated!
2. All construction materials must be kept within the property lines, maintaining a neat street right-of-way.
3. The use of streets or common areas for storage materials or placement of tools and equipment is prohibited.
4. The use of adjoining properties for access or storage of materials without the written permission of the adjacent owner is prohibited.
5. Temporary storage structures approved by the Declarant may be used to store materials.

B) Site Cleanliness

1. Care should be taken when loading trucks and hauling trash to prevent spillage while in transit.
2. Purchaser shall be held responsible for trash and debris falling from construction vehicles.
3. A trash container enclosure will be required on each construction site after the pouring of the foundation. At the end of each workday, all waste wood materials must be stored neatly, and all trash placed in the trash enclosure. All other trash shall be contained within the structure's garage.
4. No trash will be strewn about the site or piled openly.
5. Home builders shall use the garage as their trash storage area for all paper materials and other materials that can be blown from the lot by wind.
6. Any home inspection may be cancelled if the construction site is littered with debris.
7. Purchaser will be responsible for cleanup on all lots owned or contracted for by Purchaser.
8. Lots with a house under construction must be mowed periodically to keep weeds down and prevent seeds transferring onto adjacent lots.
9. Lots that are not cleaned upon notification are subject to fines.
10. Safety hazards must be marked with appropriate warning devices.
11. Concrete washout shall be located on a lot designated and owned by the builder and approved by the seller or shall be established in an area adjacent to or near the home building activity as determined by the Declarant. If the concrete washout is established on property not owned by each user of the sites, that user shall clean up upon provision of a new location and restore to a natural condition using Bermuda sod to cover the former site.
12. ***REQUIREMENT FOR OBTAINING A CERIFICATE OF OCCUPANCY...***

Adjacent lots on either side and behind any fence of a home requesting a final certificate for occupancy must be clean and clear of all trash and debris. Any damaged erosion control measures on the adjacent lot must also be restored to a new condition or replaced. Not following the requirements of this section is grounds for denial on the final certificate requested!

With respect to townhome construction, all builders covenant and agree to comply with the post-construction structure transfers in accordance with the procedures set forth on **Exhibit C**.

13. A Customer Service Inspection MUST be requested from the water/sewer operator for the development (InfraMark), if such applies, 72 hours in advance of the closing of a home to a new homeowner.

B) Erosion Control

1. Purchaser is responsible for controlling erosion on each lot.
2. Care must be taken to use soil control measures such as hay bales (properly installed with staking as necessary), silt fence, hydromulch, etc. to prevent soil erosion.
3. Streets surrounding each Lot shall be kept free from soil.

4.2 Job Toilets / Fires

Each construction area is required to be served by a job toilet for the use of the workers (at a frequency of one toilet for every three homes or as governmental regulations apply). Job toilets may not be placed on streets and may not be placed on common areas without approval of the Community Association.

Fires are not permitted on residential construction sites under any circumstances.

4.3 Construction Adjacent to a Common Area

When building adjacent to an improved common area or common green, before the start of construction, a barrier of plastic web fencing must be installed on the property to prevent subcontractors from accessing, driving across, parking on, and storage of materials.

4.4 Vehicle Parking – Construction and Homeowner

Builders and their employees cannot leave vehicles on the street of the job site overnight. All vehicles must have current registration and license tags. **R.V.s, boats, campers and trailers cannot be parked or stored in a manner which is readily visible from the street or public common area. Only one R.V., boat, camper or trailer is allowed in each driveway, provided the driveway access is from an alley.** Under no circumstances may any car, truck, R.V., boat, or trailer interfere with the use of the alley or street.

NO vehicles are to be parked upon vacant lots, unless the lot is owned by the builder for which the subcontractors are working. Access across vacant lots to homes under construction is NOT permissible, unless the lot is owned by the builder for which the subcontractors are working. Violations will subject the builder to fines or suspension of building inspections for their subcontractor's disregard for crossing and/or parking on vacant lots.

4.5 Builder-owned Lot Mowing

Lots that have been purchased by a builder, on which construction of a house has not commenced and lots on which house construction has commenced must be mowed as needed to keep grass/weeds less than or equal to six inches (6") in height.

5.0 MISCELLANEOUS

5.1 Enforcement

The terms and provisions of these Single-Family Guidelines may be enforced in the same manner as the declaration is enforced, or by any other method available at law or equity.

5.2 Third Party Benefit

Declarant, its agents, representatives, or employees, shall not be liable for failure to follow these Single-Family Guidelines. These Single-Family Guidelines confer no third-party benefits or rights upon any entity, person, or builder.

5.3 Non-Liability of Declarant

Neither the Declarant, nor its respective partners, members, successors, assigns, agents, representatives, employees, or attorneys shall be liable for damages or otherwise to anyone submitting plans to it for approval, or to Purchaser by reason of mistake in judgment,

nonfeasance arising out of any action of the Declarant with respect to any submission, or for failure to follow these Single-Family Guidelines. The role of the Declarant is directed toward review and approval of site planning, appearance, architectural vocabulary, and aesthetics. The Declarant assumes no responsibility with regard to design or construction, including, without limitation, the civil, structural, mechanical, plumbing, or electrical design, methods of construction, or technical suitability of materials.

5.4 Accuracy of Information

Any person submitting plans to the Declarant shall be responsible for verification and accuracy of all components of such submission, including, without limitation, all site dimensions, grades, elevations, utility locations and other pertinent features of the site or plans.

5.5 Builder Representation

Purchaser represents by the act of entering into the review process with the Declarant that all representatives of Purchaser, including, but not limited to, Purchaser's architect, engineer, subcontractors, and their agents and employees, shall be made aware by the Purchaser of all applicable requirements of the Declarant and shall abide by these Single-Family Guidelines with respect to approval of development plans and specifications.

5.6 Exhibits

All referenced Exhibits shall be attached to and become a part of these Single-Family Guidelines when the Preliminary Plat is finalized.

5.7 No Recording

Purchaser may not file these Single-Family Guidelines or any memorandum or notice of these Guidelines in any public record.

5.8 Definitions

Common Green or Common Area refers to any and all of the following (1) existing or proposed common areas within Purchaser's subdivision, (2) existing or proposed common areas within an adjacent subdivision, (3) existing or proposed common areas of the Heartland community.

Gables are generally defined as the triangular section of wall at the end of a pitched roof, occupying the space between the two slopes of the roof. For Heartland, all gables facing a street (whether on the front of a home or on the side of a home on a corner lot) must be 100% masonry.

Front Yard Setback: The minimum horizontal distance that a building must be set back from the exterior property line, measured across the full width of the lot from the street right-of-way line at the front of the lot to the allowable location of the outside wall of the principal structure.

Rear Yard Setback: The minimum horizontal distance that a building must be set back from the rear boundary of the lot, measured across the full width of the lot from the lot line at the opposite end of the lot from the front yard to the allowable location of the outside wall of the principal structure.

Side Yard Setback: The minimum horizontal distance that a building must be set back from the side boundary lines of the lot, measured across the full depth of the lot from each side lot line to the allowable location of the outside wall of the principal structure.

Porch: A covered approach to a doorway that is attached to- and that forms an integral part of the principal structure and its roof.

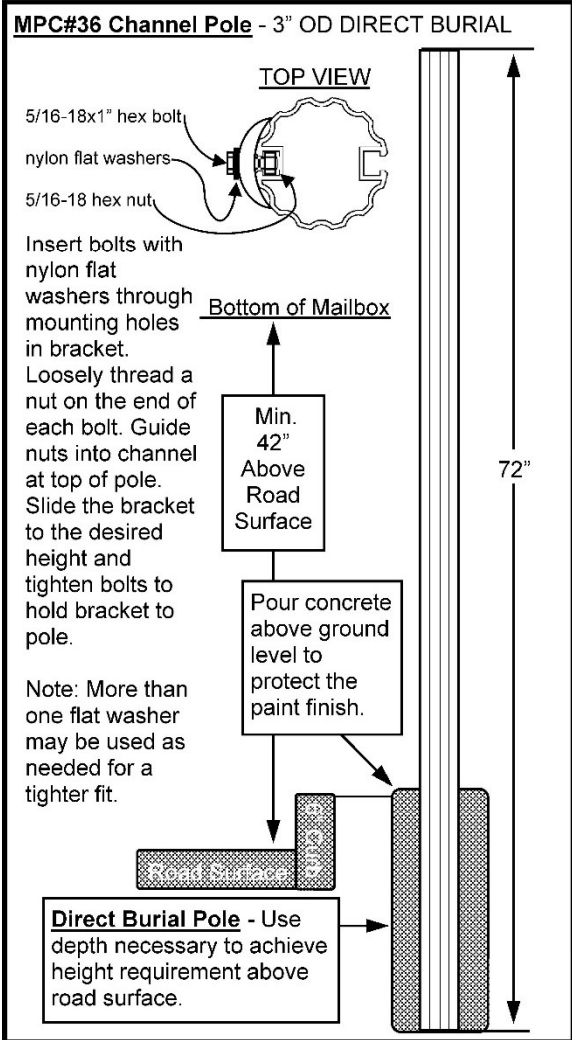
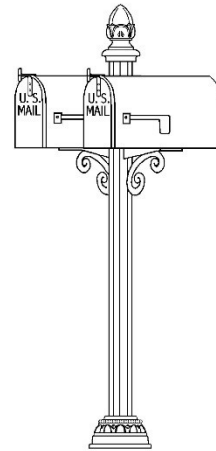
[END OF SINGLE-FAMILY DESIGN GUIDELINES; EXHIBITS TO FOLLOW]

Exhibit A

Sternberg, Brandon Industries, or Approved Equal

DAC36-2923-9X

CUSTOMERS ARE REQUESTED TO CONTACT THE LOCAL POST OFFICE BEFORE ERECTING THE BOX TO ENSURE ITS CORRECT PLACEMENT AND HEIGHT AT THE STREET.



- Attach Kit:**
- 4 - 5/16-18X1" Hex Bolt
 - 4 - 5/16-18 Hex Nut
 - 8 - Nylon Flat Washer .317ID .75OD T.062
 - 4 - 1/4-20x1" phil truss bolt
 - 4 - 1/4-20 keps nut
 - 8 - 10-24x1/2" round slot bolt
 - 8 - 10-24 star lock nut
 - 1 - 5/32 hex key
 - 1 - General Installation Instructions

FIN-A3 - Acorn Finial (for 3" OD pole)

Three 5/16-18x5/16" set screws at 120° Intervals to attach to pole.

(2) M9-B - Galv. Steel Mailboxes

Includes Flag Kits

Mounting holes for attaching to pan

(2) PAN 3/4X6X12

Use four 1/4-20x1" phil truss bolts to mount to top of bracket. Use four 10-24x1/2" round slot bolts to attach mailbox.

(2) DB-29 - Mounting Bracket

Two 3/8" holes for mounting the pan

Two 3/8" holes to align with holes in pole

SB-23 - Slip Over Base

Slip over pole and rest on concrete footing to protect the finish.

EXHIBIT B-1 SPECIAL FENCING REQUIREMENTS

LEGEND

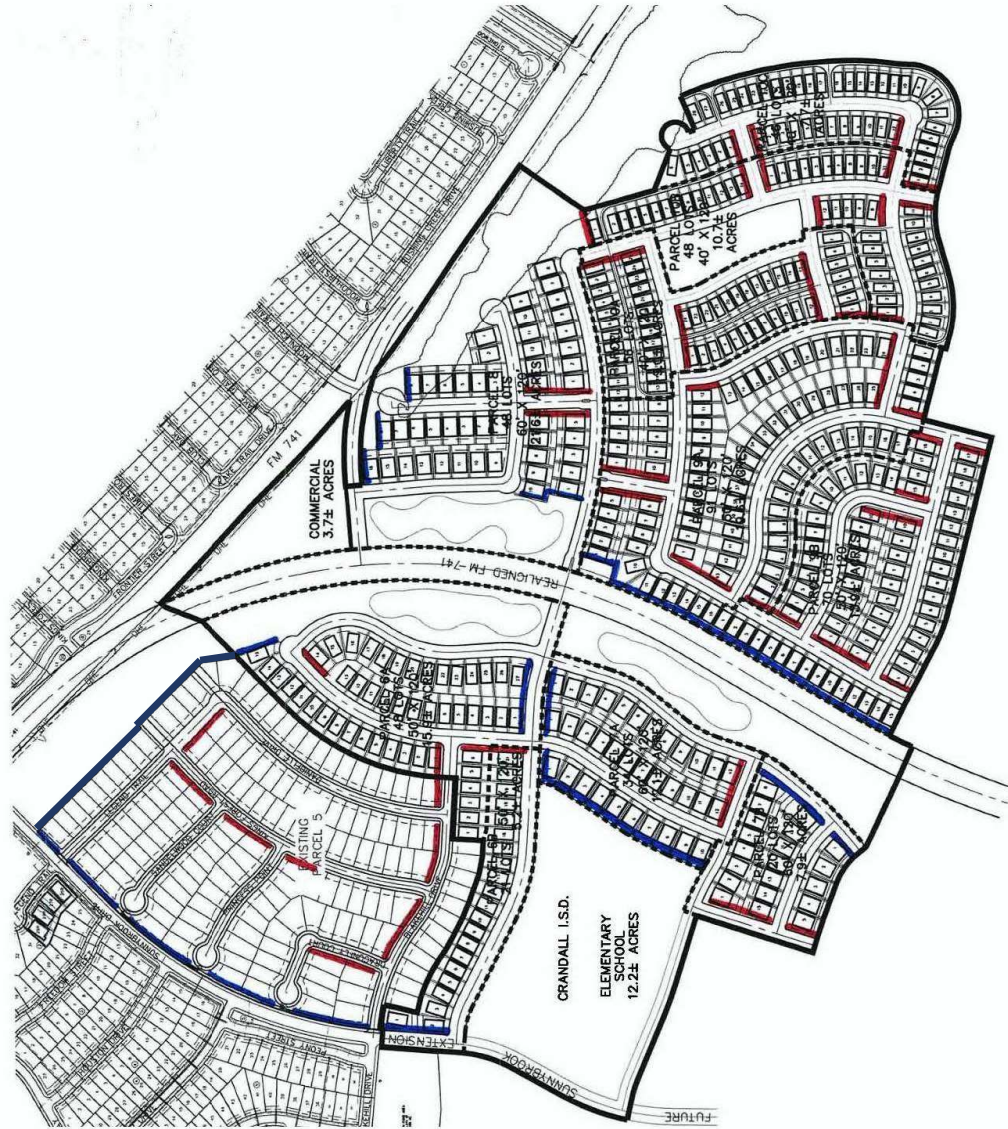
Special Fencing:
Fencing along FM741, a school, park, collector street (60' ROW), or amenity center must be built with No. 1 grade cedar or better, board-on-board, with a 2"x6" min. cap and trim board at the top, mow board, steel posts, and a Sherwin Williams Cedarbark 3511 stain or closely matched equivalent approved by the architectural reviewer.

All Other Corner Lot Fencing:
Any fencing located on corner lots must be stained with a Sherwin Williams Cedarbark 3511 stain or closely matched equivalent approved by the architectural reviewer. Shall be set back an additional five feet (5') from the street. Must be built with Douglas Fir Dog-Ear Pressure Treated Wood Fence Picket SPF stained or better, steel posts, with a 2"x6" minimum cap for anything visible from the street.

NOTES:

- Privacy fencing is required on all lots. Fences must be a minimum of six feet (6') tall, unless otherwise approved in writing by Seller.
- Fences shall be constructed of min. Douglas Fir Dog-Ear Pressure Treated wood SPF stained, with steel posts, unless otherwise noted.
- All fences shall be constructed with the finished side facing out when visible from the street.
- Front sections of fences shall tie into the home no less than 5' and no more than 10' from the front corner of the home.
- No post shall be visible from any street, alley, open space or open lot within the community of the home being constructed.

Please refer to Section 1.2.11 of the Design Criteria and Construction Guidelines for additional requirements.



Typical Locations Shown for Example



EXHIBIT B-2 SPECIAL FENCING REQUIREMENTS MUD-11

LEGEND

Special Fencing:

Fencing along FM741, a school, park, collector street (60' ROW), or amenity center must be built with No. 1 grade cedar or better, board-on-board, with a 2" x6" min. cap and trim board at the top, mow board, steel posts, and a **Sherwin Williams Cedarbark 3511** stain or closely matched equivalent approved by the architectural reviewer.

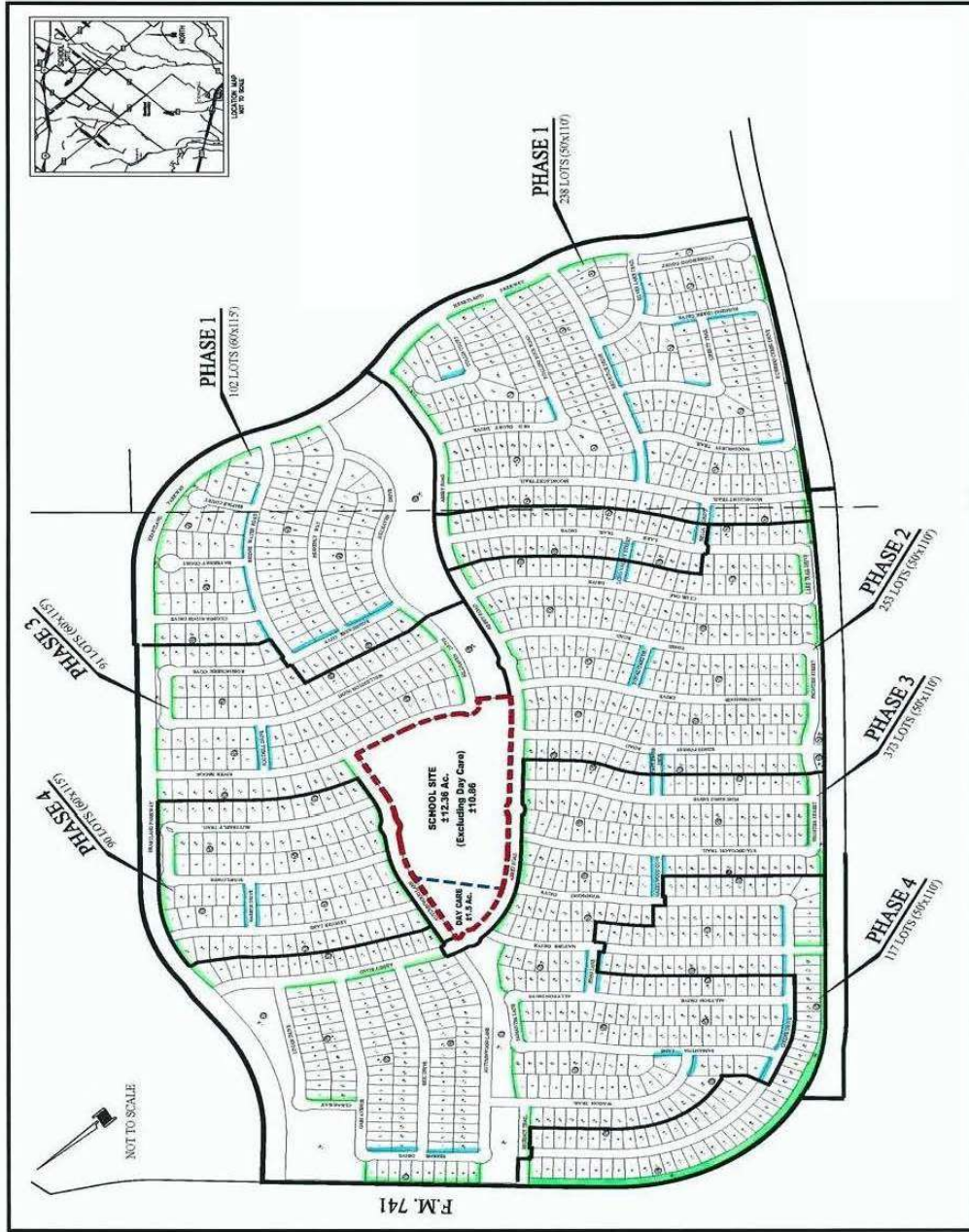
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- Front sections of fences shall tie into the home no less than 5' and no more than 10' from the front corner of the home.
- No post shall be visible from any street, alley, open space or open lot within the community of the home being constructed.

Please refer to Section 1.2.11 of the Design Criteria and Construction Guidelines for additional requirements.



Typical Locations Shown for Example



EXHIBIT B-3 SPECIAL FENCING REQUIREMENTS

LEGEND

Special Fencing:

Fencing along FM741, a school, park, collector street (60' ROW), or amenity center must be built with No. 1 grade cedar or better, board-on-board, with a 2"x6" min. cap and trim board at the top, mow board, steel posts, and a **Sherwin Williams Cedarbark 3511** stain or closely matched equivalent approved by the architectural reviewer.

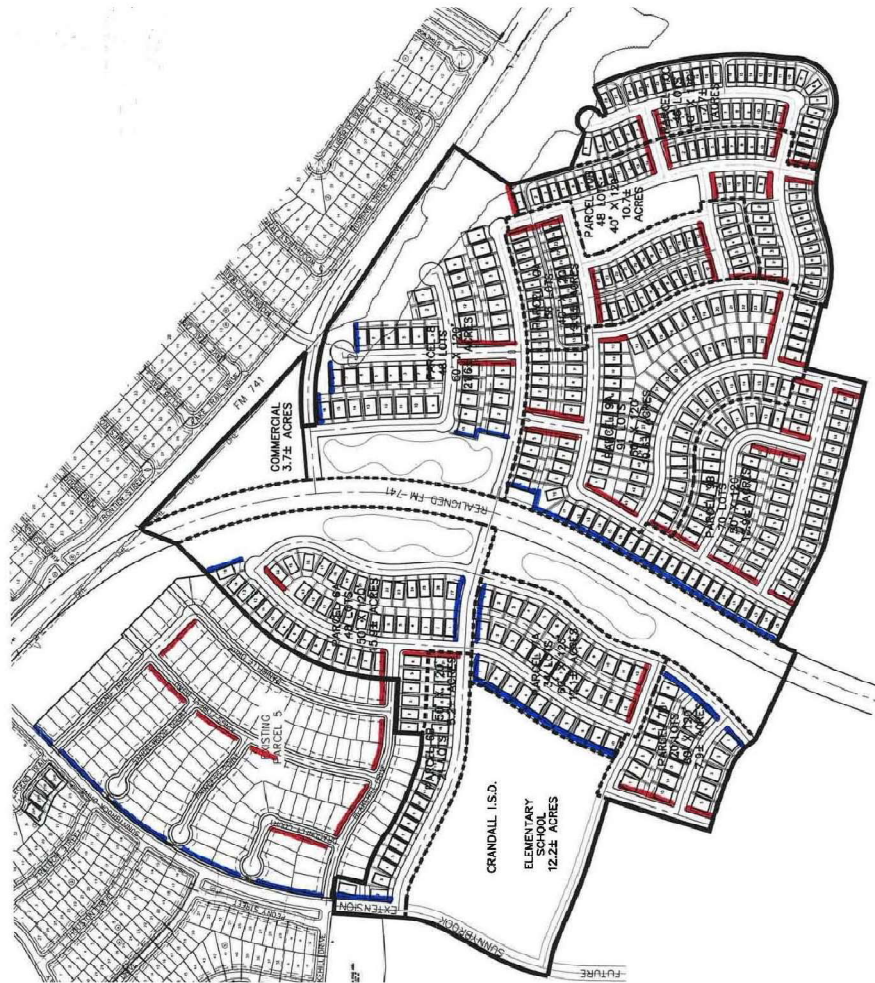
All Other Corner Lot Fencing:

Any fencing located on corner lots must be stained with a **Sherwin Williams Cedarbark 3511** stain or closely matched equivalent approved by the architectural reviewer. Shall be set back an additional five feet (5') from the street. Must be built with Douglas Fir Dog-Ear Pressure Treated Wood Fence Picket SPF stained or better, steel posts, with a 2"x6" minimum cap for anything visible from the street.

NOTES:

- Privacy fencing is required on all lots. Fences must be a minimum of six feet (6') tall, unless otherwise approved in writing by Seller.
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- No post shall be visible from any street, alley, open space or open lot within the community of the home being constructed.

Please refer to Section 1.2.11 of the Design Criteria and Construction Guidelines for additional requirements.



Typical Locations Shown for Example



Exhibit B-4

LEGEND

Special Fencing:
 Fencing along FM741, a school, park, collector street (50' ROW), or amenity center must be built with No. 1 grade cedar or better, board-on-board, with a 2"x6" min. cap and trim board at the top, mow board, steel posts, and a Sherwin Williams Cedarbark 3511 stain or closely matched equivalent approved by the architectural reviewer.

All Other Corner Lot Fencing:
 Any fencing located on corner lots must be stained with a Sherwin Williams Cedarbark 3511 stain or closely matched equivalent approved by the architectural reviewer. Shall be set back an additional five feet (5') from the street. Must be built with Douglas Fir Dog-Ear Pressure Treated Wood Fence Picket SPF stained or better, steel posts, with a 2"x6" minimum cap for anything visible from the street.

- NOTES:**
- Privacy fencing is required on all lots. Fences must be a minimum of six feet (6') tall, unless otherwise approved in writing by Seller.
 - Fences shall be constructed of min. Douglas Fir Dog-Ear Pressure Treated wood SPF stained, with steel posts, unless otherwise noted.
 - All fences shall be constructed with the finished side facing out when visible from the street.
 - Front sections of fences shall tie into the home no less than 5' and no more than 10' from the front corner of the home.
 - No post shall be visible from any street, alley, open space or open lot within the community of the home being constructed.
- Please refer to Section 1.2.11 of the Design Criteria and Construction Guidelines for additional requirements.**

EXHIBIT B-4 SPECIAL FENCING REQUIREMENTS



Typical Locations Shown for Example



EXHIBIT B-5 SPECIAL FENCING REQUIREMENTS

LEGEND

Special Fencing:

Fencing along FM741, a school, park, collector street (60' ROW), or amenity center must be built with No. 1 grade cedar or better, board-on-board, with a 2"x6" min. cap and trim board at the top, mow board, steel posts, and a **Sherwin Williams Cedarbark 3511** stain or closely matched equivalent approved by the architectural reviewer.

All Other Corner Lot Fencing:

Any fencing located on corner lots must be stained with a **Sherwin Williams Cedarbark 3511** stain or closely matched equivalent approved by the architectural reviewer. Shall be set back an additional five feet (5') from the street. Must be built with Douglas Fir Dog-Ear Pressure Treated Wood Fence Picket SPF stained or better, steel posts, with a 2"x6" minimum cap for anything visible from the street.

NOTES:

- Privacy fencing is required on all lots. Fences must be a minimum of six feet (6') tall, unless otherwise approved in writing by Seller.
- Fences shall be constructed of min. Douglas Fir Dog-Ear Pressure Treated wood SPF stained, with steel posts, unless otherwise noted.
- All fences shall be constructed with the finished side facing out when visible from the street.
- Front sections of fences shall tie into the home no less than 5' and no more than 10' from the front corner of the home.
- No post shall be visible from any street, alley, open space or open lot within the community of the home being constructed.

Please refer to Section 1.2.11 of the Design Criteria and Construction Guidelines for additional requirements.



Typical Locations Shown for Example



EXHIBIT B-6 SPECIAL FENCING REQUIREMENTS

LEGEND

Special Fencing:

Fencing along FM741, a school, park, collector street (60' ROW), or amenity center must be built with No. 1 grade cedar or better, board-on-board, with a 2"x6" min. cap and trim board at the top, mow board, steel posts, and Sherwin Williams Cedarbark 3511 stain or closely matched equivalent approved by the architectural reviewer.

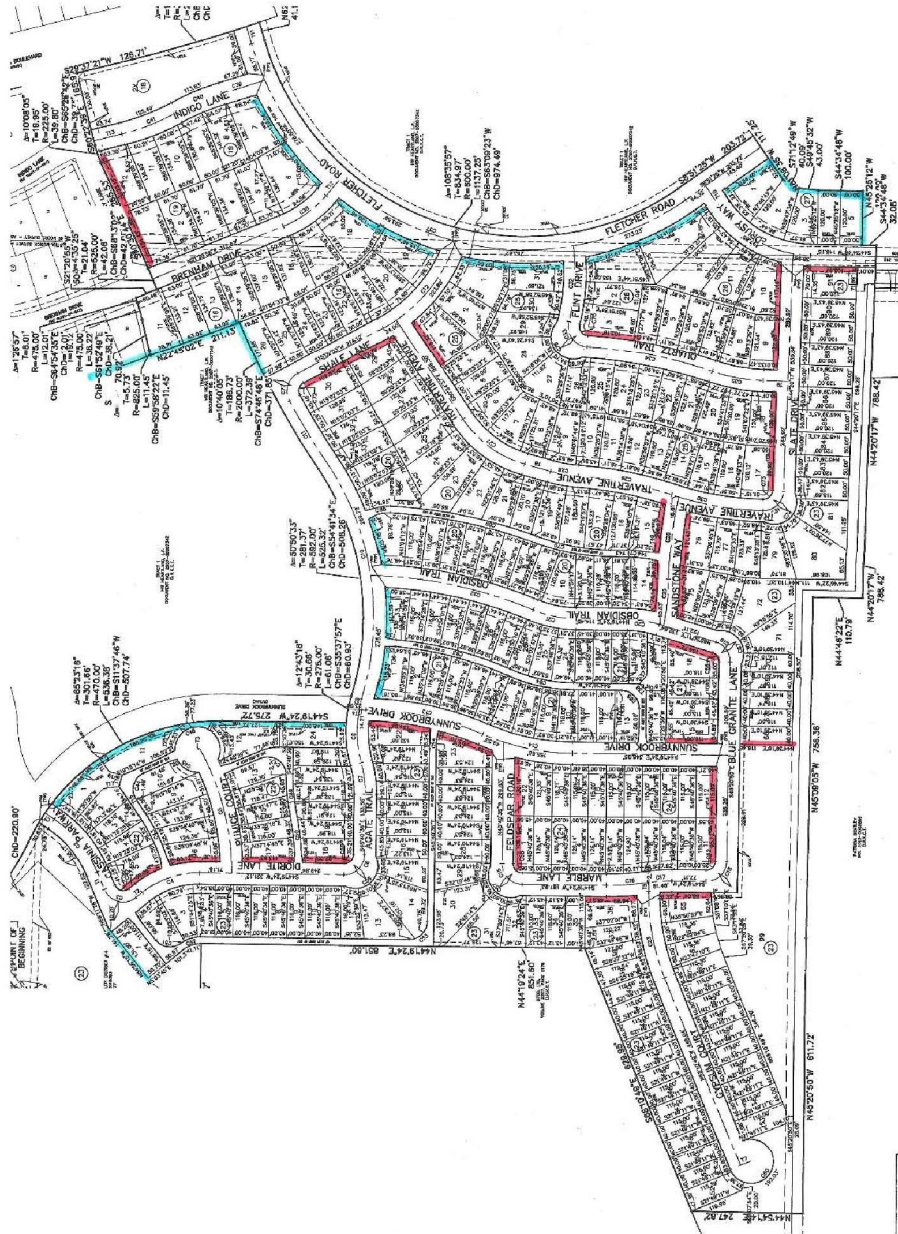
All Other Corner Lot Fencing:

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NOTES:

- Privacy fencing is required on all lots. Fences must be a minimum of six feet (6') tall, unless otherwise approved in writing by Seller.
- Fences shall be constructed of min. Douglas Fir Dog-Ear Pressure Treated wood SPF stained, with steel posts, unless otherwise noted.
- All fences shall be constructed with the finished side facing out when visible from the street.
- Front sections of fences shall tie into the home no less than 5' and no more than 10' from the front corner of the home.
- No post shall be visible from any street, alley, open space or open lot within the community of the home being constructed.

Please refer to Section 1.2.11 of the Design Criteria and Construction Guidelines for additional requirements.



Typical Locations Shown for Example



EXHIBIT B-7 SPECIAL FENCING REQUIREMENTS

LEGEND

Special Fencing:
Fencing along FM741, a school, park, collector street (60' ROW), or amenity center must be built with No. 1 grade cedar or better, board-on-board, with a 2"x6" min. cap and trim board at the top, mow board, steel posts, and a **Sherwin Williams Cedarbark 3511** stain or closely matched equivalent approved by the architectural reviewer.

All Other Corner Lot Fencing:
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NOTES:

- Privacy fencing is required on all lots. Fences must be a minimum of six feet (6') tall, unless otherwise approved in writing by Seller.
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- No post shall be visible from any street, alley, open space or open lot within the community of the home being constructed.

Please refer to Section 1.2.11 of the Design Criteria and Construction Guidelines for additional requirements.

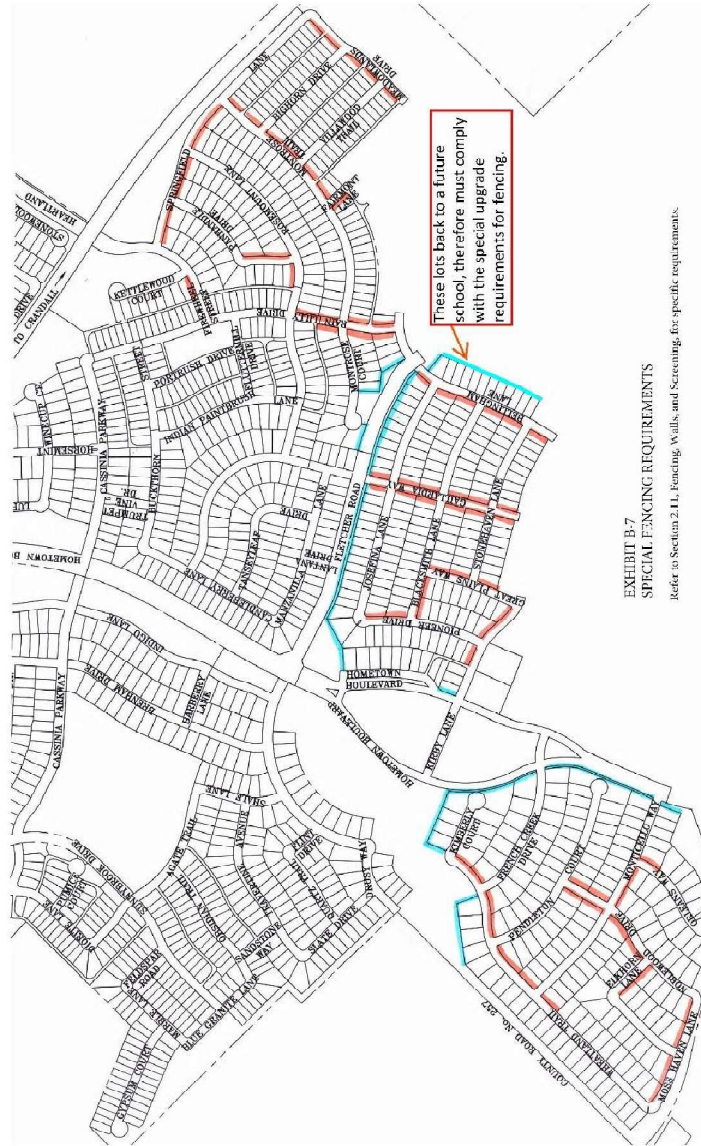


EXHIBIT B-7
SPECIAL FENCING REQUIREMENTS

Refer to Section 2.1.1, Fencing, Walls, and Screening, for specific requirements.

Typical Locations Shown for Example

Exhibit B-8



LEGEND

Special Fencing:
 Fencing along FM741, a school, park, collector street (60' ROW), or amenity center must be built with No. 1 grade cedar or better, board-on-board, with a 2"x6" min. cap and trim board at the top, mow board, steel posts, and a **Sherwin Williams Cedarbark 3511** stain or closely matched equivalent approved by the architectural reviewer.

All Other Corner Lot Fencing:
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NOTES:

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- All fences shall be constructed with the finished side facing out when visible from the street.
- Front sections of fences shall tie into the home no less than 5' and no more than 10' from the front corner of the home.
- No post shall be visible from any street, alley, open space or open lot within the community of the home being constructed.

Please refer to Section 1.2.11 of the Design Criteria and Construction Guidelines for additional requirements.

EXHIBIT B-8 SPECIAL FENCING REQUIREMENTS



Exhibit B-8 Special Fencing Requirements
 Refer to Section 1.11, Fencing, Walks, and Screening for specific requirements.

Typical Locations Shown for Example

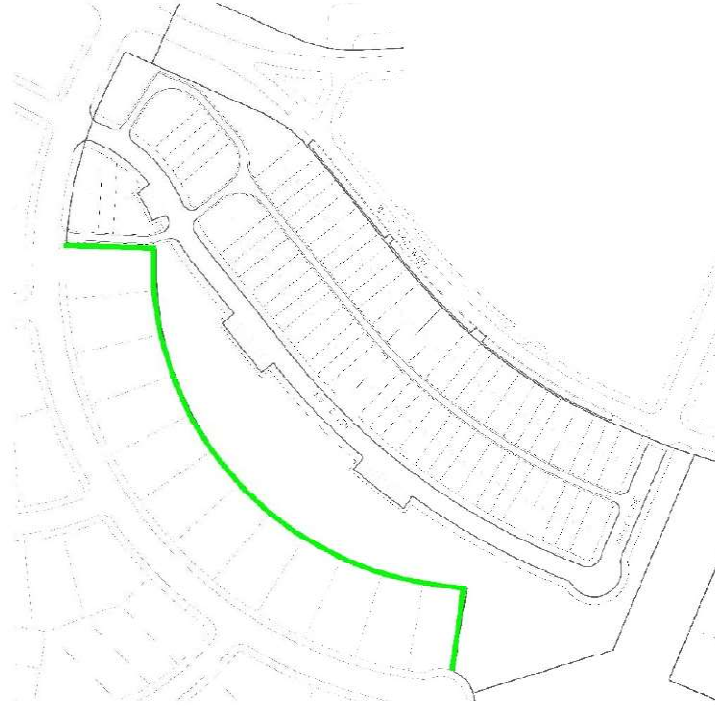


EXHIBIT B-9 SPECIAL FENCING REQUIREMENTS

LEGEND

 **Shared Fencing:**

This fencing is considered shared between each individual single-family detached home/lot and the Townhome Service Area for the Villages of Heartland. This fence must be stained with a **Sherwin Williams CedarBark 3511** stain or closely matched equivalent approved by the architectural reviewer.



- NOTES:**
- Privacy fencing is required on all lots. Fences must be a minimum of six feet (6') tall, unless otherwise approved in writing by Seller.
 - Fences shall be constructed of min. Douglas Fir Dog-Ear Pressure Treated wood SPT stained, with steel posts, unless otherwise noted.
 - All fences shall be constructed with the finished side facing out when visible from the street.
 - Front sections of fences shall tie into the home no less than 5' and no more than 10' from the front corner of the home.
 - No post shall be visible from any street, alley, open space or open lot within the community of the home being constructed.
- Please refer to Section 1.2.11 of the Design Criteria and Construction Guidelines for additional requirements.**

Typical Locations Shown for Example

Exhibit B-10

GRAPHIC SCALE IN FEET

0 50 100 200

Special Fencing Requirements

Phase 19
29.988 ACRES TOTAL
143 RESIDENTIAL LOTS
6 NON-RESIDENTIAL LOTS
SITUATED IN THE
JOHN MOORE SURVEY, ABSTRACT NO. 399
CITY OF GRANDALL ET/J
KAUFMAN MUNICIPAL UTILITY DISTRICT NO. 10
KAUFMAN COUNTY, TEXAS

Developer
Huffman Communities
Mark Edgren, P.E.
8500 Douglas Avenue, Suite 300
Dallas, Texas 75225
214-750-1800

Owner
UST Heartland LP
Lance Fair
8500 Douglas Avenue, Suite 300
Dallas, Texas 75225
214-750-1800

LEGEND

- Special Fencing:
Fencing along FM74, a school, park, collector street (per ROW), or amenity center must be built with No. 6 galvanized steel pipe, 3-1/2" diameter, with 2" x 6" top board steel posts, and a 2" x 6" minimum cap for anything visible from the street.
- All Other Corner Lot Fencing:
Any fencing located on corner lots must be along with the Show Home Curb, 3511145 or 3511146 street frontage, and be constructed with 3-1/2" diameter galvanized steel pipe set back an additional five (5) feet from the street to allow for the 3' landscaping area outside the fence. Must be built with Douglas Fir Dog-Ear Pressure Treated wood, 2x6 posts, with a 2" x 6" minimum cap for anything visible from the street.
- NOTES:
• Privacy fencing is required on all lots. Fences must be a minimum of six-foot (6) tall, unless otherwise approved in writing by the Seller.
• Fences shall be constructed of min. Douglas Fir Dog-Ear Pressure Treated wood, stained, with steel posts, unless otherwise noted.
• All fences shall be constructed with the finished side facing out when visible from the street.
• Front sections of fences shall tie into the home no less than 10 feet and no more than 10 feet from the front corner of the home.
• No posts shall be visible from any street, alley, open space or open to within the community of the home being constructed.

50' FRONT ENTRY - SETBACKS

BLOCK	LOTS	FRONT	REAR	MIN.	TYP.	SIDE (INTERIOR)	SIDE (CORNER)
1	1-15	20'	15'	20'		5'	10'
2	1-13	20'	15'	20'		5'	10'
3	1-29	20'	15'	20'		5'	10'
4	1-20	20'	15'	20'		5'	10'
5	1-20	20'	15'	20'		5'	10'
6	1-10	20'	15'	20'		5'	10'
7	1-19	20'	15'	20'		5'	10'
8	1-15	20'	15'	20'		5'	10'
9	1-5	20'	15'	20'		5'	10'

Heartland
MULTIFAMILY

PELOTON LAND SOLUTIONS
1000 FRISCO STREET, SUITE 400 FRISCO, TEXAS 78033
T(952) 511-1443 PH (469) 213-1806
JOB#RH1501119 October 14, 2021 PAGE 1 OF 3

Exhibit B-10

Exhibit B-11

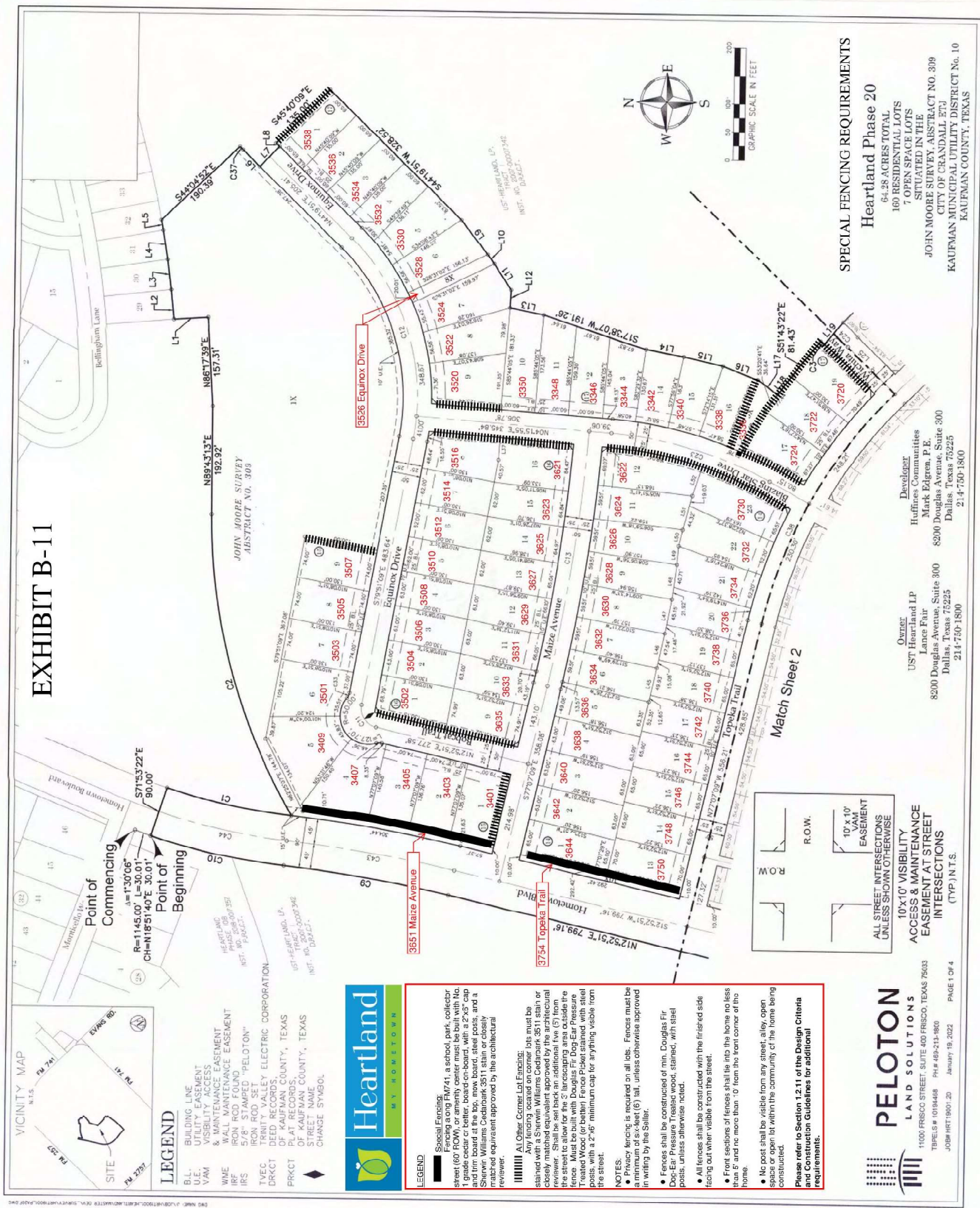


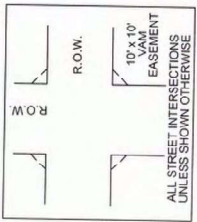
EXHIBIT B-11

SPECIAL FENCING REQUIREMENTS Heartland Phase 20

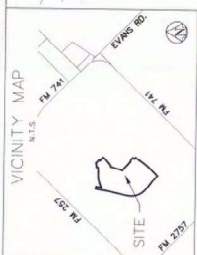
64.28 ACRES TOTAL
160 RESIDENTIAL LOTS
7 OPEN SPACE LOTS
SITUATED IN THE
JOHN MOORE SURVEY, ABSTRACT NO. 309
OUT OF CHANDALL ETJ
KAUFMAN MUNICIPAL UTILITY DISTRICT NO. 10
KAUFMAN COUNTY, TEXAS

Developer:
Huffines Communities
Mark Edgren, P.E.
8200 Douglas Avenue, Suite 300
Dallas, Texas 75225
214-750-1800

Owner:
UST Heartland LP
Lance Fair
8200 Douglas Avenue, Suite 300
Dallas, Texas 75225
214-750-1800



10'x10' VISIBILITY
ACCESS & MAINTENANCE
EASEMENT AT STREET
INTERSECTIONS
(TYP) N.T.S.



LEGEND

- B.L. BUILDING LINE
- U.E. UTILITY EASEMENT
- V.E.V. VARIANCE EASEMENT
- W.M.E. WALL MAINTENANCE EASEMENT
- W.F. WALL FOUNDATION
- W.R. WALL ROOF
- W.S. STAMPED "PELTON"
- W.T. TRINITY VALLEY ELECTRIC CORPORATION
- DRKCT DEED RECORDS
- PRKCT OF KAUFMAN COUNTY, TEXAS
- PLAT RECORDS
- PLAT NAME
- STREET NAME
- CHANGE SYMBOL



LEGEND

Special Fencing:
Fencing along FM741, a school, park, collector street (60' or greater), or a street with a 20' or greater curb or barrier board on board, with a 2'x3" cap and trim board at the top, mow board, steel posts, and a Sherwin Williams Cadetmark 351 stain or closely related equipment approved by the architectural reviewer.

All Other Corner Lot Fencing:
Any fencing located on corner lots must be stained. Fencing on corner lots must be closely matched equivalent approved by the architectural reviewer. Shall be set back an additional five (5) from the street to allow for the 5' curbing area outside the street (or better). Fenced area shall be Treated Wood (or better). Fence Picket stained with steel posts, with a 2" x 6" minimum cap for anything visible from the street.

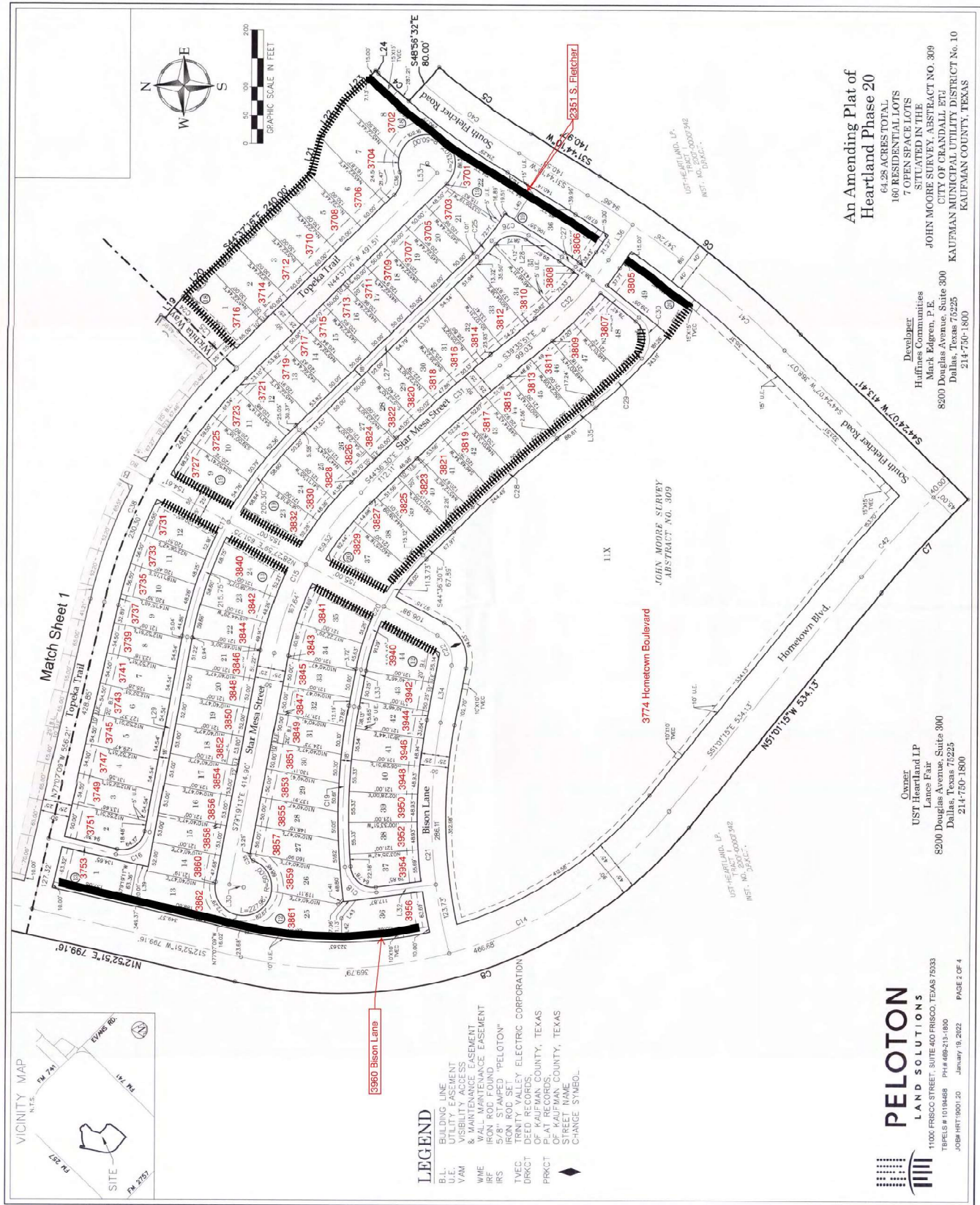
NOTES:

- Privacy fencing is required on all lots. Fences must be a minimum of six-foot (6') tall, unless otherwise approved in writing by the Seller.
- Fences shall be constructed of min. Douglas Fir
- Do-It-Yourself Pressure Treated wood, stained, with steel posts, unless otherwise noted.
- All fences shall be constructed with the finished side facing out where visible from the street.
- Front sections of fences shall tie into the home no less than 5' and no more than 10' from the front corner of the home.
- No post shall be visible from any street, alley, open space or open wall within the community of the home being constructed.

Please refer to Section 1.2.11 of the Design Criteria and Construction Guidelines for additional requirements.

PELTON
LAND SOLUTIONS
11005 FRISCO STREET, SUITE 400 FRISCO, TEXAS 75033
TEL: 972-482-2111 FAX: 482-211-8800
JOB#1901-20 January 19, 2022 PAGE 1 OF 4

Exhibit B-11



An Amending Plat of Heartland Phase 20
 61.28 ACRES TOTAL
 160 RESIDENTIAL LOTS
 7 OPEN SPACE LOTS
 DEVELOPED BY
 JOHN MOORE SURVEY, ABSTRACT NO. 309
 CITY OF KAUFMAN, TEXAS
 KAUFMAN MUNICIPALITY, ABSTRACT No. 10
 KAUFMAN COUNTY, TEXAS

Developer
 Huffines Communities
 Mark Edgren, P.E.
 8200 Douglas Avenue, Suite 300
 Dallas, Texas 75225
 214-750-1800

Surveyor
 UST Heartland LP
 Lance Fair
 8200 Douglas Avenue, Suite 300
 Dallas, Texas 75225
 214-750-1800

- LEGEND**
- B.L. BUILDING LINE
 - U.E. UTILITY EASEMENT
 - V.M. VARIATION
 - W.M. WALL MAINTENANCE EASEMENT & MAINTENANCE EASEMENT
 - IRF IRON ROD FOUND
 - IRS 5/8" STAMPED "PELTON"
 - T.W.C. TRINITY WORKSLEY ELECTRIC CORPORATION
 - DRKCT DEED RECORDS, KAUFMAN COUNTY, TEXAS
 - PRKCT PLAT RECORDS, KAUFMAN COUNTY, TEXAS
 - STREE NAME CHANGE SYMBOL

PELTON
 LAND SOLUTIONS

11000 FRISCO STREET, SUITE 400 FRISCO, TEXAS 75333
 T: 972.668.4388 P: 972.668.4389
 JOB# HRT19001.20 January 19, 2022 PAGE 2 OF 4

Exhibit B-12

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Exhibit B-13

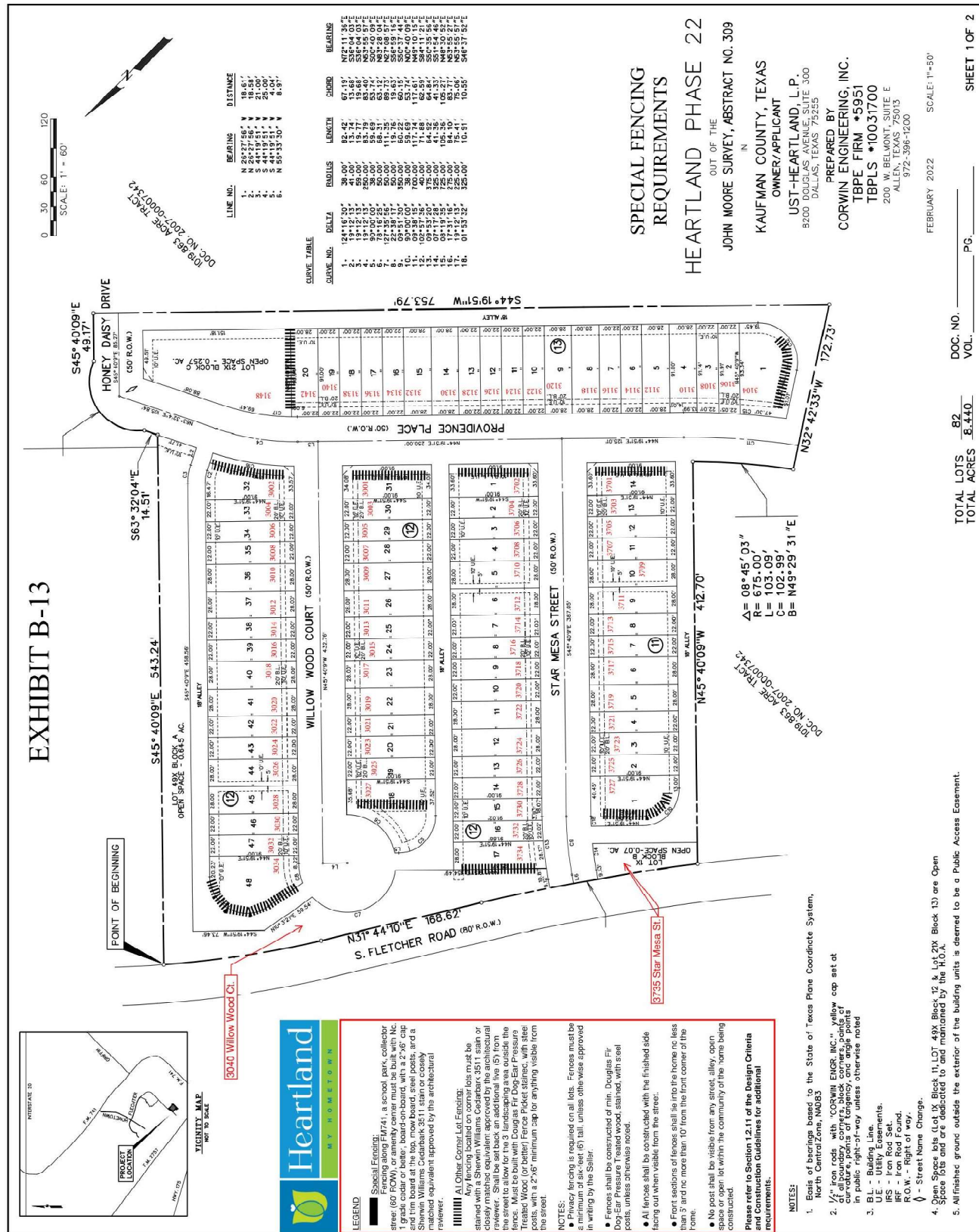


EXHIBIT B-13

SPECIAL FENCING REQUIREMENTS

HEARTLAND PHASE 22
OUT OF THE
JOHN MOORE SURVEY, ABSTRACT NO. 309

IN
KAUFMAN COUNTY, TEXAS
OWNER/APPLICANT
JUST-HEARTLAND, L.P.
8200 DOUGLAS LANE, SUITE 300
DALLAS, TEXAS 75245

PREPARED BY
CORVIN ENGINEERING, INC.
TBPE FIRM #591
TBPLS #10031700
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-398-1200

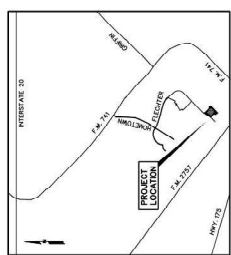
FEBRUARY 2022 SCALE: 1" = 50'

TOTAL LOTS 82
TOTAL ACRES 8.440

DOC. NO. 82
VOL. 6440

PG. 10

SHEET 1 OF 2



3040 Willow Wood Ct.

8735 Star Mesa St.

544-409E 432.70'

N5°44'10"E 166.62'

S. FLETCHER ROAD (RD) R.O.W.

W ALLEY

N45°40'09"W 412.70'

STAR MESA STREET (50' R.O.W.)

W ALLEY

N32°42'33"W 172.73'

PROVIDENCE PLACE (50' R.O.W.)

W ALLEY

S44°19'51"W 753.79'

HONEY DAISY DRIVE

S45°40'09"E 49.17'

S63°32'04"E 14.51'

POINT OF BEGINNING

LOT 18X BLOCK A

LOT 20X BLOCK C

LOT 21X BLOCK D

LOT 22X BLOCK E

LOT 23X BLOCK F

LOT 24X BLOCK G

LOT 25X BLOCK H

LOT 26X BLOCK I

LOT 27X BLOCK J

LOT 28X BLOCK K

LOT 29X BLOCK L

LOT 30X BLOCK M

LOT 31X BLOCK N

LOT 32X BLOCK O

LOT 33X BLOCK P

LOT 34X BLOCK Q

LOT 35X BLOCK R

LOT 36X BLOCK S

LOT 37X BLOCK T

LOT 38X BLOCK U

LOT 39X BLOCK V

LOT 40X BLOCK W

LOT 41X BLOCK X

LOT 42X BLOCK Y

LOT 43X BLOCK Z

LOT 44X BLOCK AA

LOT 45X BLOCK AB

LOT 46X BLOCK AC

LOT 47X BLOCK AD

LOT 48X BLOCK AE

LOT 49X BLOCK AF

LOT 50X BLOCK AG

LOT 51X BLOCK AH

LOT 52X BLOCK AI

LOT 53X BLOCK AJ

LOT 54X BLOCK AK

LOT 55X BLOCK AL

LOT 56X BLOCK AM

LOT 57X BLOCK AN

LOT 58X BLOCK AO

LOT 59X BLOCK AP

LOT 60X BLOCK AQ

LOT 61X BLOCK AR

LOT 62X BLOCK AS

LOT 63X BLOCK AT

LOT 64X BLOCK AU

LOT 65X BLOCK AV

LOT 66X BLOCK AW

LOT 67X BLOCK AX

LOT 68X BLOCK AY

LOT 69X BLOCK AZ

LOT 70X BLOCK BA

LOT 71X BLOCK BB

LOT 72X BLOCK BC

LOT 73X BLOCK BD

LOT 74X BLOCK BE

LOT 75X BLOCK BF

LOT 76X BLOCK BG

LOT 77X BLOCK BH

LOT 78X BLOCK BI

LOT 79X BLOCK BJ

LOT 80X BLOCK BK

LOT 81X BLOCK BL

LOT 82X BLOCK BM

Exhibit B-14

EXHIBIT B-14

SPECIAL FENCING REQUIREMENTS



- LEGEND**
- Special Fencing: Fences along FM 741, a school, bank, collector street (60' ROW), or amenity center must be built with No. 1 Grade cedar or better, hand-on-board, with a 2" x 6" cap. The fence must be a minimum of 4 feet high, and a 3" x 4" post. The fence must be a minimum of 3 feet high and a matched equivalent approved by the architectural reviewer.
 - All Other Corner Lot Fencing: Any fencing located on corner lots must be a minimum of 4 feet high and a 3" x 4" post. The fence must be a matched equivalent approved by the architectural reviewer. The fence must be a minimum of 3 feet high and a matched equivalent approved by the architectural reviewer. The fence must be a minimum of 3 feet high and a matched equivalent approved by the architectural reviewer.
- NOTES:**
- Privacy fencing is required on all lots. Fences must be a minimum of 4 feet high and a 3" x 4" post. The fence must be a matched equivalent approved by the architectural reviewer.
 - Fences shall be constructed of min. Douglas Fir or equivalent, hand-on-board, with 2" x 6" posts, unless otherwise noted.
 - All fences shall be constructed with the finished side facing out when visible from the street.
 - Front sections of fences shall sit into the home no less than 12" and no more than 12" from the front corner of the home.
 - No post shall be visible from any street, alley, open area, or within the community of the home being constructed.
- Please refer to Section 4.2.11 of the Design Criteria and Construction Guidelines for additional requirements.

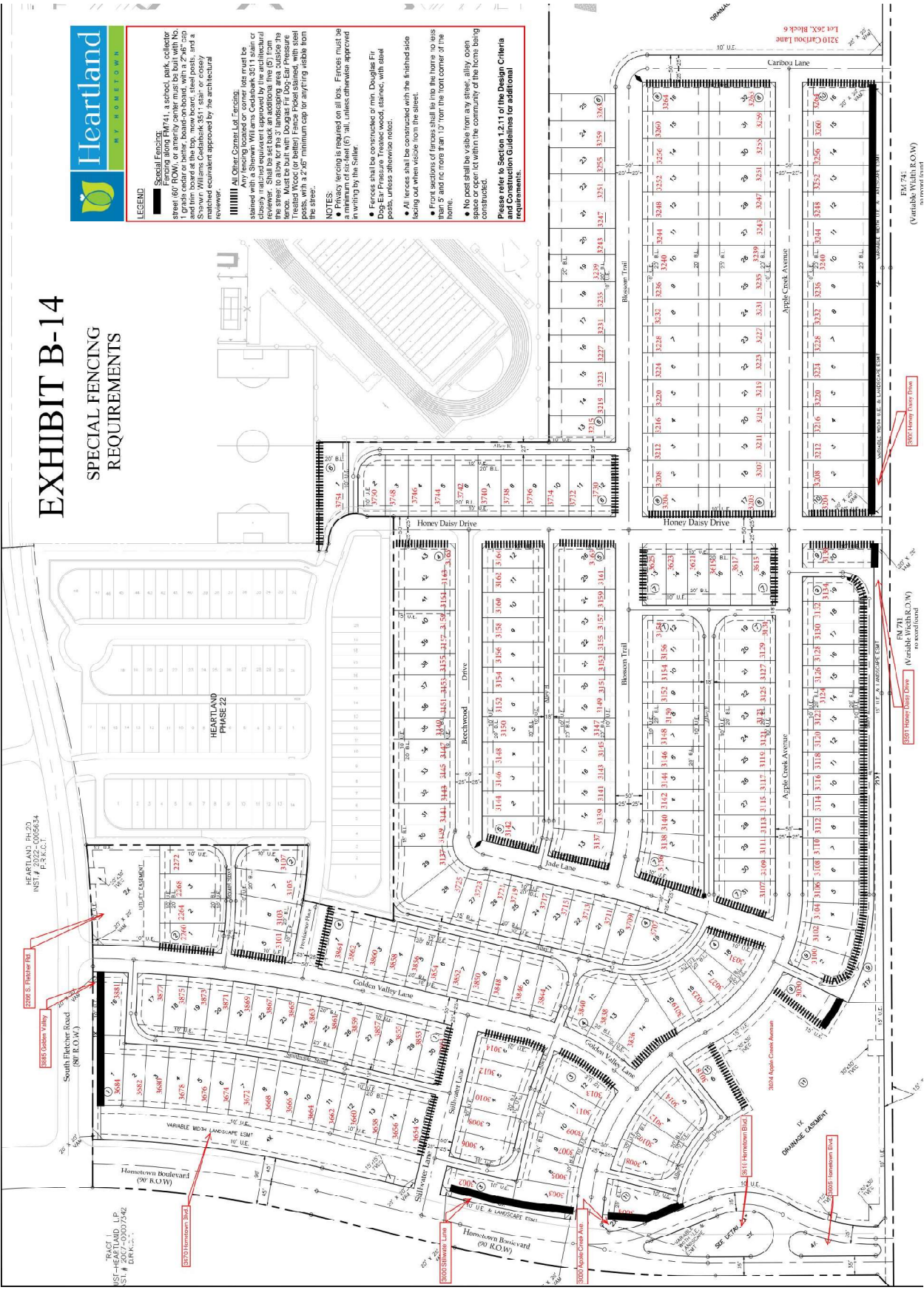


Exhibit C

TRANSFER PROCEDURE FOR TOWNHOMES

1. Transfer Procedure. The procedures to transfer responsibility over the maintenance areas of the to the Association shall be as follows:
 - a. Maintenance areas shall be transferred on a per structure rather than a per dwelling basis.
 - b. A structure's maintenance area shall be transferred prior to closing the first dwelling in that structure to a homebuyer (the "Dwelling Closing").
 - c. The service area assessment for each dwelling shall commence on the date of the Dwelling Closing.
 - d. Purchaser shall notify the Association in writing of Purchaser's readiness to transfer a structure's maintenance area no less than thirty (30) days prior to the Dwelling Closing (such written notice herein called, the "Letter of Intent").
 - e. Purchaser shall provide the following items electronically (PDF file format) prior to, or accompanying the delivery of the Letter of Intent to the Association (collectively, the "Maintenance Area Documents"):

For Each Structure:

- 1) Site plan showing the specific dwelling on the specific Lot upon which it is proposed to be constructed showing compliance with all setbacks, easements, etc. and the location of and material to be used for flatwork, fencing and ancillary improvements.
- 2) As-built building plans.
- 3) A list of all exterior materials and colors (including manufacturing information) for the following:
 - a. Masonry (including brick, stucco and stone);
 - b. Doors (including dwelling doors and garage doors);
 - c. Trim (including vents, dormers, shutters and eaves);
 - d. Roof shingles;
 - e. Gutters;
 - f. Fencing, if applicable; and
 - g. Arbor or pergola, if applicable.
- 4) Irrigation and landscape plan for each structure in sufficient detail for the Association to verify and ultimately maintain the improvements.
- 5) Contact information (including address, phone and email) for prime contractors involved in the construction of the improvements including, but not limited to, the framing, roofing, window, exterior millwork, insulation, masonry, fence, mechanical, electrical, plumbing, fire sprinkler, concrete, irrigation, and landscaping contractors.
- 6) Manufacturer warranties assigned, transferred and conveyed to the home owner with the Association as an additional beneficiary wherever applicable.

Exhibit C

- 7) An estimate of replacement values for the structure by providing current budget costs.
 - 8) Account information for any utilities to be transferred or assigned to the Association.
 - 9) An express limited home warranty for each dwelling home buyer adding the Association as an additional beneficiary.
- f. Association shall initiate the insurance coverage upon receipt of the Letter of Intent and maintenance area documents and provide to Purchaser written notice of such coverage.
- g. Purchaser shall schedule an inspection upon delivery of the maintenance area documents and completion of the maintenance area improvements no less than twenty-one (21) days before the Dwelling Closing (the "Initial Walk-Through").
- 1) The Initial Walk-Through shall be performed no later than fourteen (14) days before Closing.
 - 2) The Association's community manager, the Association's landscape maintenance vendor, Purchaser's landscape vendor, Purchaser's representative, and a third-party home inspection representative of the Association's choosing shall participate in the Initial Walk-Through.
 - 3) Association shall prepare and distribute a written list of any portion of the maintenance area that cannot be accepted for maintenance (the "Punch List") within two (2) days after the Initial Walk-Through.
 - 4) Purchaser shall make a reasonable effort to complete and remedy the Punch List (the "Remediated Items") within fourteen (14) days of the Initial Walk-Through and provide to the Association written notice of such completion.
 - 5) Association shall review the Remediated Items prior to the Dwelling Closing (the "Follow Up Walk-Through") within three (3) days.

If during the Follow Up Walk-Through, the Association determines that any of the Remediated Items have not been adequately completed by Purchaser and cannot be accepted by the Association for maintenance, the Association shall document such items on a secondary walk-through list (the "Secondary List"). Items on the Secondary List must not be major repair or construction items, which shall be determined in the reasonable judgment of the Association.

- 6) Any portion of the maintenance area listed on the Secondary List at the Dwelling Closing shall not be deemed accepted by the Association. Purchaser shall be responsible for completing such items on the Secondary List during the cure period which is ninety (90) days from the Dwelling Closing of the first dwelling in the structure (the "Final Completion Deadline"). It is important that Purchaser coordinates these repairs to completion in order to maintain original subcontractor warranties. After the 90-day cure period, the Association shall have the right to complete on behalf of Purchaser any items listed on the Secondary List that are not completed by the Final Completion Deadline. The Association shall forward receipts evidencing the cost of such work performed by the Association (the

Exhibit C

“Association Work”) to Purchaser, and Purchaser agrees it shall reimburse the Association for the cost of such Association Work within thirty (30) days of the Association’s delivery of such receipts.

- h. Purchaser shall provide evidence of the District’s written approval of the maintenance areas (i.e. the certificate of occupancy) (the “District Approval”).
 - i. Upon receipt of the Maintenance Area Documents and District Approval, and after the Final Completion Deadline, if applicable, final acceptance of a maintenance area by the Association will be evidenced by the completion of a letter of acceptance.
 - j. A failure by the Association to include items on the Punch List or Secondary List shall not be deemed a waiver of claims by the Association against Purchaser with respect to claims for defects under applicable warranties or law.
2. **Transfer Eligibility.** Maintenance areas shall only be eligible for transfer to the Association for maintenance upon the Dwelling Closing when: (a) all of the Maintenance Area Documents have been provided to the Association and (b) all construction work on the improvements making up the maintenance area has been completed to a condition acceptable to the Association, which such determination shall be made in the Association’s reasonable discretion.
3. **Dispute.** If there is a disagreement between Purchaser and the Association as to how and when the items on the Punch List or Secondary List should be remedied or completed, both parties agree to enter good faith negotiation to resolve such issues.
4. **Repayment of Utilities.** In the event that any of the utilities to be transferred or assigned to the Association will continue to service property owned or under the control of Purchaser, then Purchaser will be required to separately itemize the utility usage or such property and repay the Association for the cost of such usage within thirty (30) days of the Association’s delivery of such receipts. The usage calculation will be prorated by the number of dwellings in the structure.
5. **Moving occupants into Townhomes.** No unit may be occupied until the entire structure of units is completed and the HOA issues a Completion Certificate. The building inspector will issue to the home builder and the HOA a Final Inspection approval. Upon receipt of the Final Inspection notice from the building inspector, the HOA will inspect the landscaping and features of the building of which the HOA will be maintaining. Any punch-list generated from the Final Inspection and the HOA inspection must be fully completed before a Completion Certificate is issued from the HOA to the home builder allowing a resident to move into their unit.

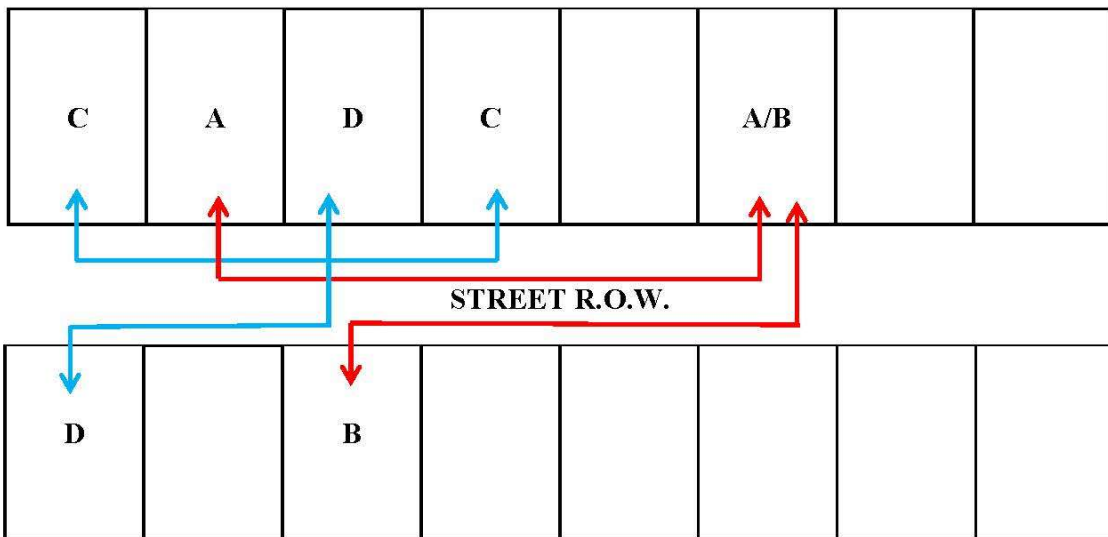
Exhibit D

Architectural Design: Monotony Rule

Architectural Design

Plan	Elevation	Street Side	Spacing	Code
Same Plan	Same Elevation	Same side of Street	3 full Lots between	A
		Opposite side of Street	2 full Lots between	B
	Different Elevation	Same side of Street	2 full Lots between	C
		Opposite side of Street	1 full Lot between	D

House Elevation (Written) Repetition Requirements



House Brick (Visual) Repetition Requirements

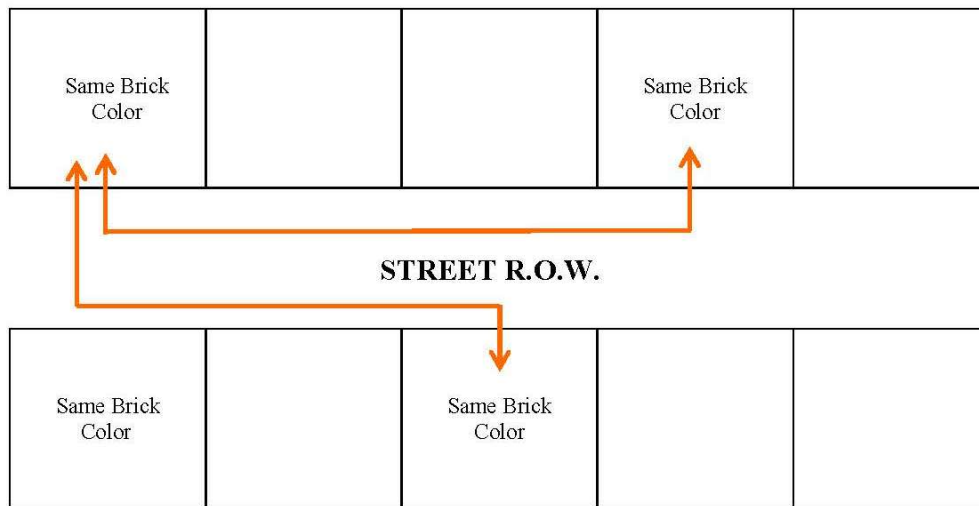


Exhibit E

DESIGN INFORMATION: 12" x 12" ADDRESS BLOCK PC: PCS TOTAL COLOR: TYPE: A	NOTES:	DATE: PROJECT: HISTORY MAKER REVISIONS: 1. 2. APPROVAL:	BUILDERS EQUIPMENT & SUPPLY COMPANY
---	--------	--	---

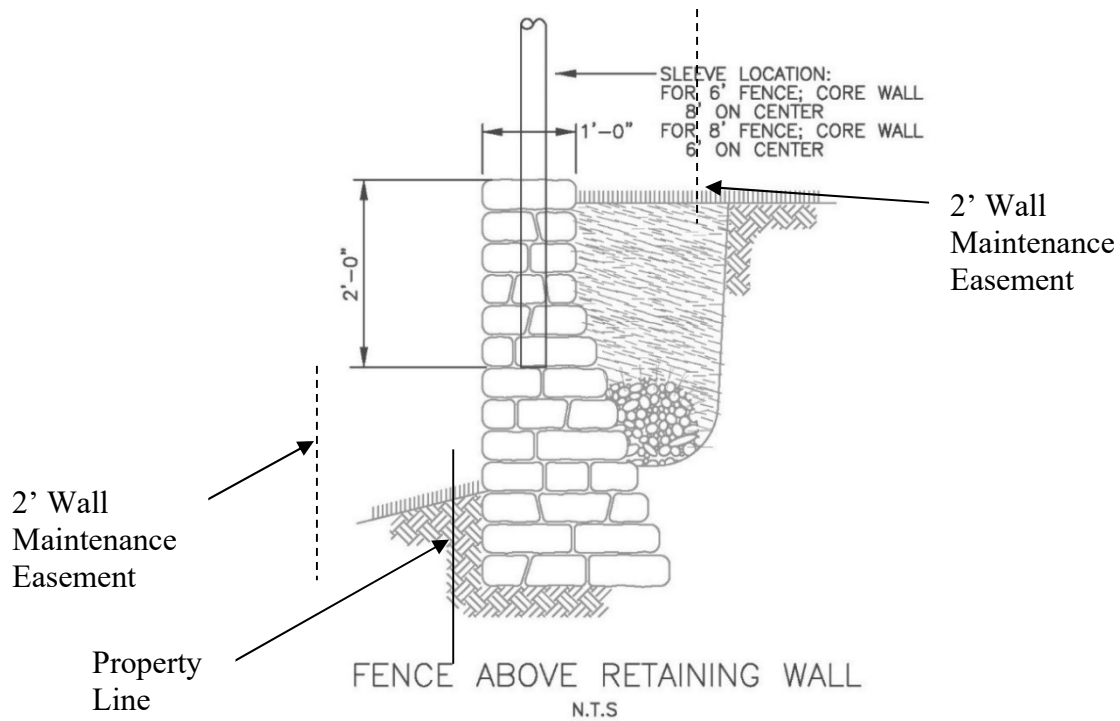


Description: Personalized House Plaque.
Size: 14.0"x 8.5"x 0.300"
Configuration: Holds up to 5-4" Characters/spaces
Finish: Black/Gold shown
Mounting: Hardiplank Wall
Material: Cast Aluminum

For installations on brick/masonry faced homes.

For installations on Hardiplank approved homes.

FOR REAR ENTRY HOMES (ALLEY SERVED): ADDRESS MUST ALSO BE VISIBLE FROM THE ALLEY, THOUGH THESE ABOVE SPEC'S DO NOT APPLY TO THE REAR ADDRESS IDENTIFICATION.



Fence Above Wall Detail

EXHIBIT F-1 BRICK REQUIREMENTS

LEGEND

100% Brick Required.

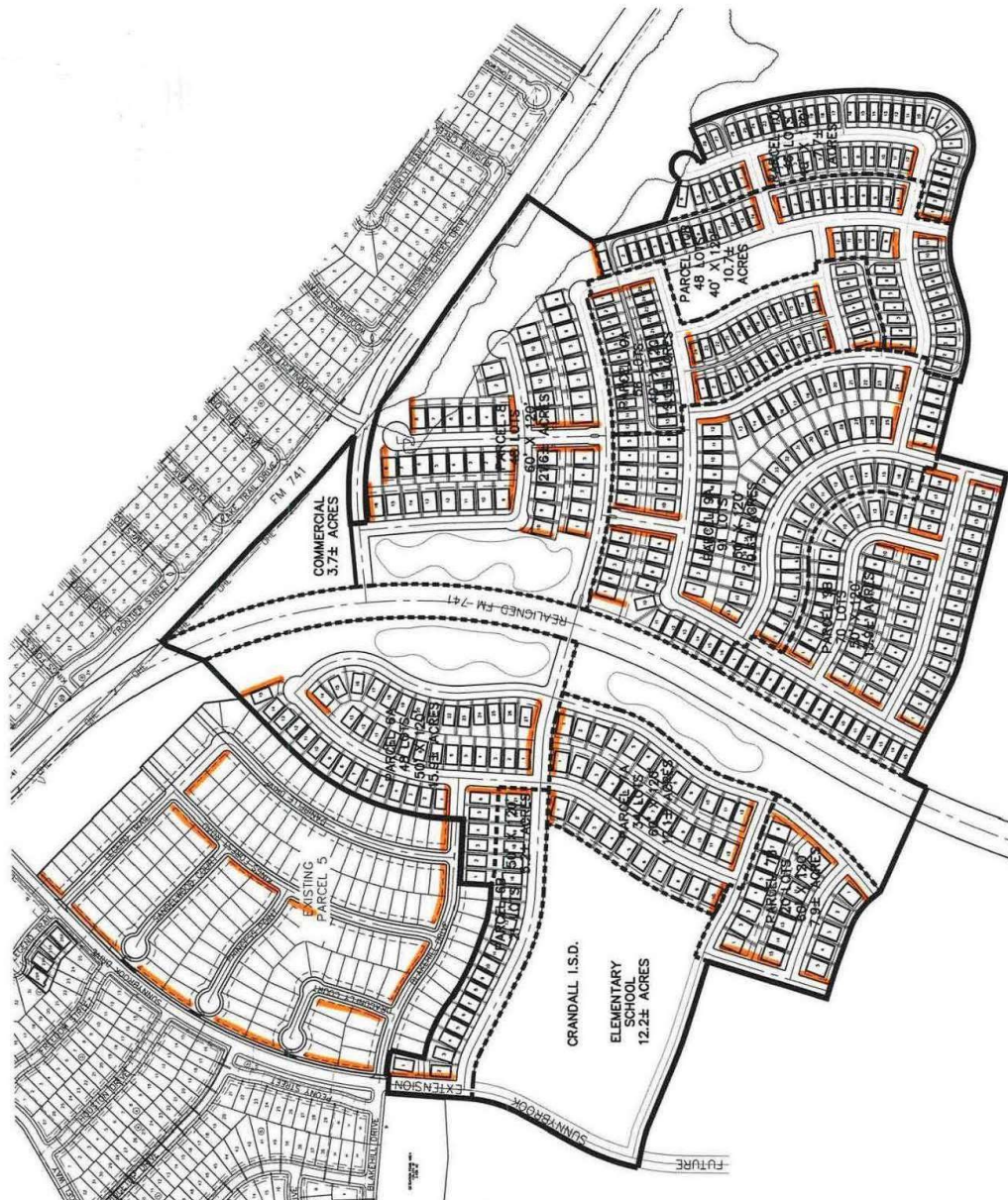
Interior Lots:

1. One-story homes must be 100% brick on the front of the home. Masonry shall extend five feet (5') past from the point of the front façade that is the furthest from the front building line on structures located on 50' and 60' Lots.
2. Two-story homes must be 100% brick on the front of the home. Masonry shall extend 5' past from the point of the front façade that is the furthest from the front building line on structures located on 50' and 60' Lots. Must be 65% masonry overall.

Corner Lots:

1. One-story homes must be 100% brick on the front of the home and on the side of the home adjacent to the other street. On the side of the home not facing a street, masonry shall extend five feet (5') past the front façade of the home for 50' and 60' Lots.
2. Two-story homes must be 100% brick on the front of the home and on the side of the home adjacent to the other street. On the side of the home not facing a street, masonry shall extend five feet (5') past the front façade of the home for 50' and 60' Lots. Must be 65% masonry overall.

Note: Lots are considered corner lots if predominantly bordered on two sides by any streets (whether or not those two streets intersect).



Typical Locations Shown for Example for Future Phases

Exhibit F-2



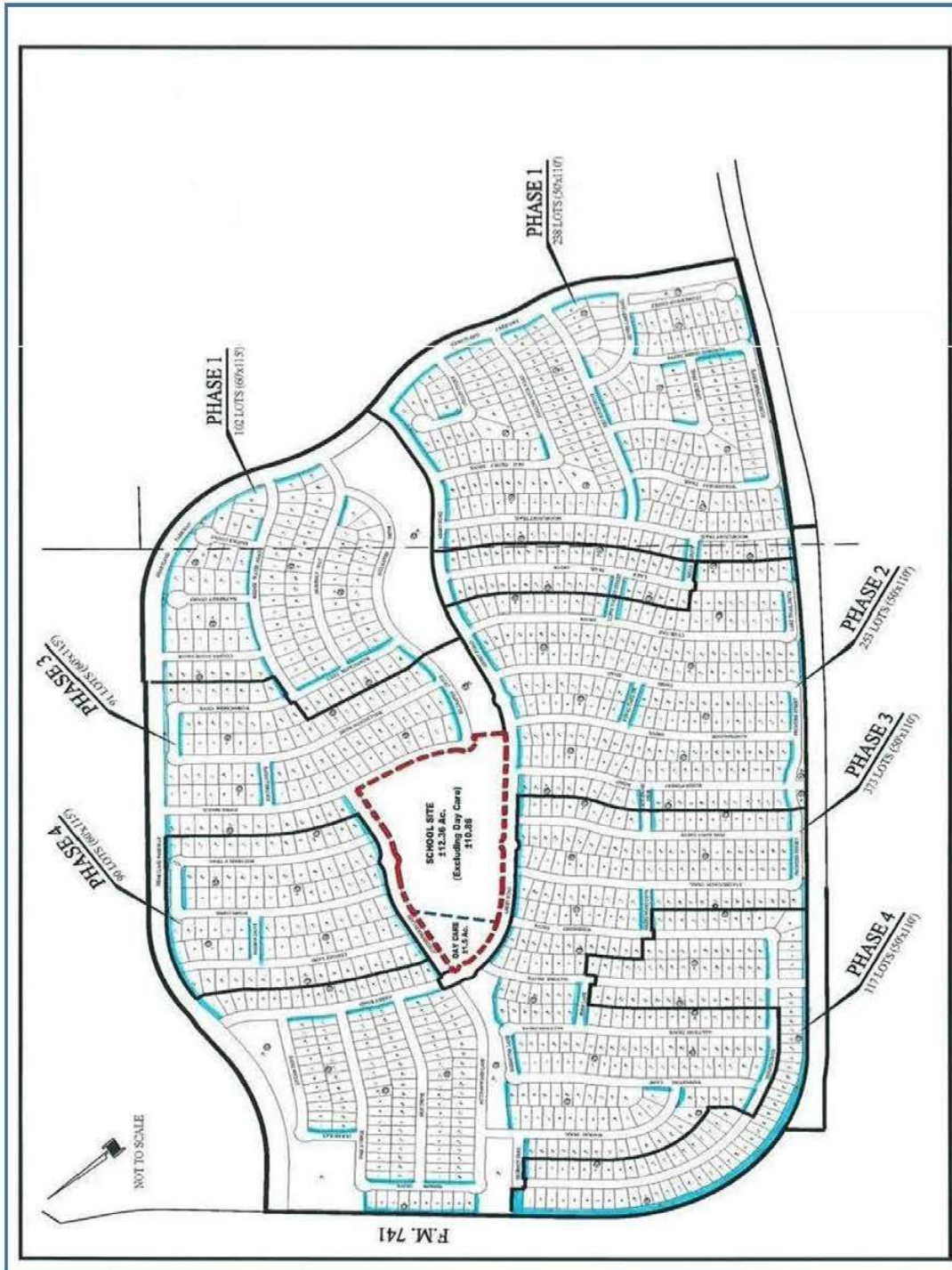
EXHIBIT F-2 BRICK REQUIREMENTS

LEGEND

100% Brick Required.

One-story homes must be 100% brick on the front of the home.

Two-story homes must be 100% brick on the front of the home. In all cases, overall brick percentage of two-story homes must be a minimum of 65%.



Typical Locations Shown for Example for Future Phases



EXHIBIT F-3 BRICK REQUIREMENTS

LEGEND

 **100% Brick Required.**

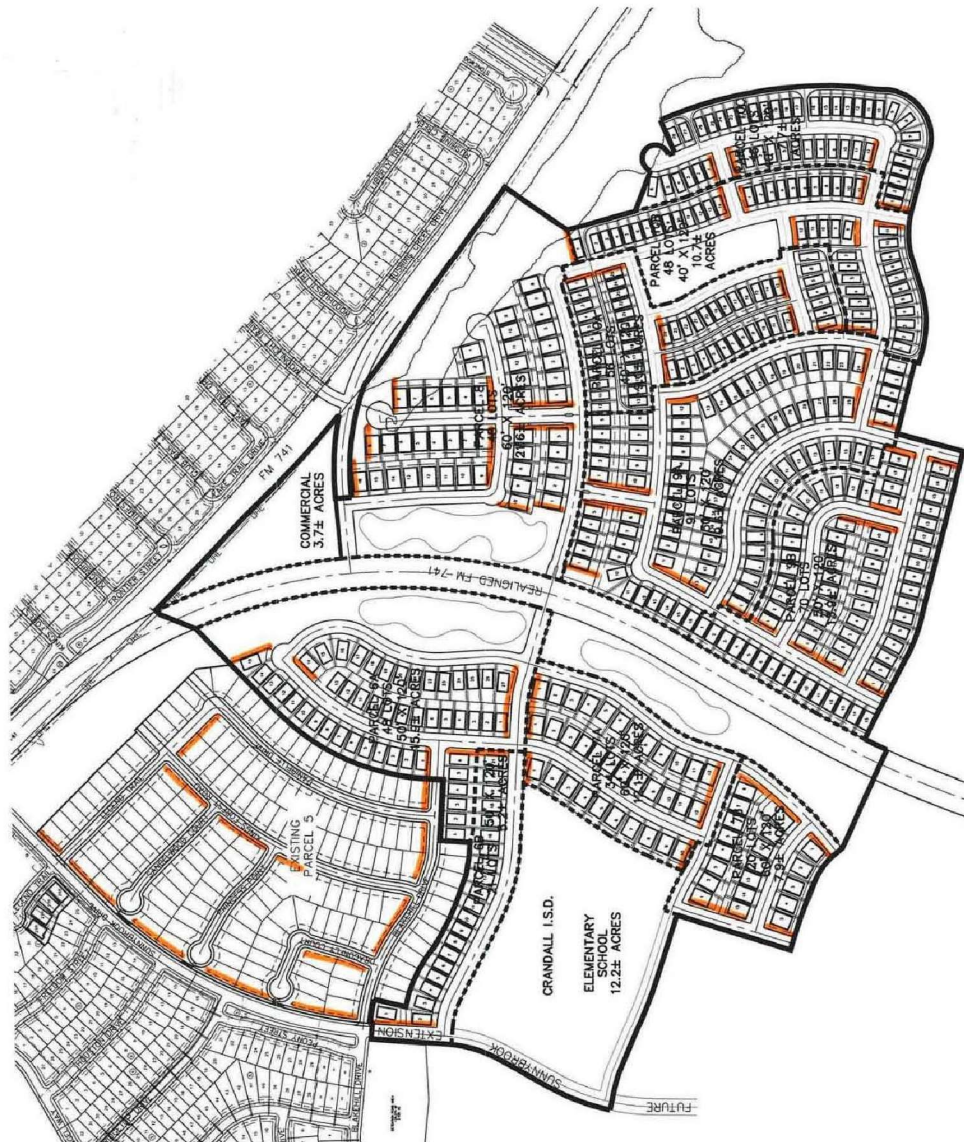
Interior Lots:

1. One-story homes must be 100% brick on the front of the home. Masonry shall extend five feet (5') past from the point of the front façade that is the furthest from the front building line on structures located on 50' and 60' Lots.
2. Two-story homes must be 100% brick on the front of the home. Masonry shall extend 5' past from the point of the front façade that is the furthest from the front building line on structures located on 50' and 60' Lots. Must be 65% masonry overall.

Corner Lots:

1. One-story homes must be 100% brick on the front of the home and on the side of the home adjacent to the other street. On the side of the home not facing a street, masonry shall extend five feet (5') past the front façade of the home for 50' and 60' Lots.
2. Two-story homes must be 100% brick on the front of the home and on the side of the home adjacent to the other street. On the side of the home not facing a street, masonry shall extend five feet (5') past the front façade of the home for 50' and 60' Lots. Must be 65% masonry overall.

Note: Lots are considered corner lots if predominantly bordered on two sides by any streets (whether or not those two streets intersect).



Typical Locations Shown for Example for Future Phases



EXHIBIT F-4 BRICK REQUIREMENTS

LEGEND

 **100% Brick Required.**

Interior Lots:

1. One-story homes must be 100% brick on the front of the home. Masonry shall extend five feet (5') past from the point of the front façade that is the furthest from the front building line on structures located on 50' and 60' Lots.
2. Two-story homes must be 100% brick on the front of the home. Masonry shall extend 5' past from the point of the front façade that is the furthest from the front building line on structures located on 50' and 60' Lots. Must be 65% masonry overall.

Corner Lots:

1. One-story homes must be 100% brick on the front of the home and on the side of the home adjacent to the other street. On the side of the home not facing a street, masonry shall extend five feet (5') past the front façade of the home for 50' and 60' Lots.
2. Two-story homes must be 100% brick on the front of the home and on the side of the home adjacent to the other street. On the side of the home not facing a street, masonry shall extend five feet (5') past the front façade of the home for 50' and 60' Lots. Must be 65% masonry overall.

Note: Lots are considered corner lots if predominantly bordered on two sides by any streets (whether or not those two streets intersect).



Typical Locations Shown for Example for Future Phases



EXHIBIT F-5 BRICK REQUIREMENTS

Exhibit F-5

LEGEND

100% Brick Required.

Interior Lots:

1. One-story homes must be 100% brick on the front of the home. Masonry shall extend five feet (5') past from the point of the front façade that is the furthest from the front building line on structures located on 50' and 60' Lots.
2. Two-story homes must be 100% brick on the front of the home. Masonry shall extend 5' past from the point of the front façade that is the furthest from the front building line on structures located on 50' and 60' Lots. Must be 65% masonry overall.

Corner Lots:

1. One-story homes must be 100% brick on the front of the home and on the side of the home adjacent to the other street. On the side of the home not facing a street, masonry shall extend five feet (5') past the front façade of the home for 50' and 60' Lots.
2. Two-story homes must be 100% brick on the front of the home and on the side of the home adjacent to the other street. On the side of the home not facing a street, masonry shall extend five feet (5') past the front façade of the home for 50' and 60' Lots. Must be 65% masonry overall.

Note: Lots are considered corner lots if predominantly bordered on two sides by any streets (whether or not those two streets intersect).



Typical Locations Shown for Example for Future Phases

EXHIBIT F-6 BRICK REQUIREMENTS

LEGEND
 100% Brick Required.

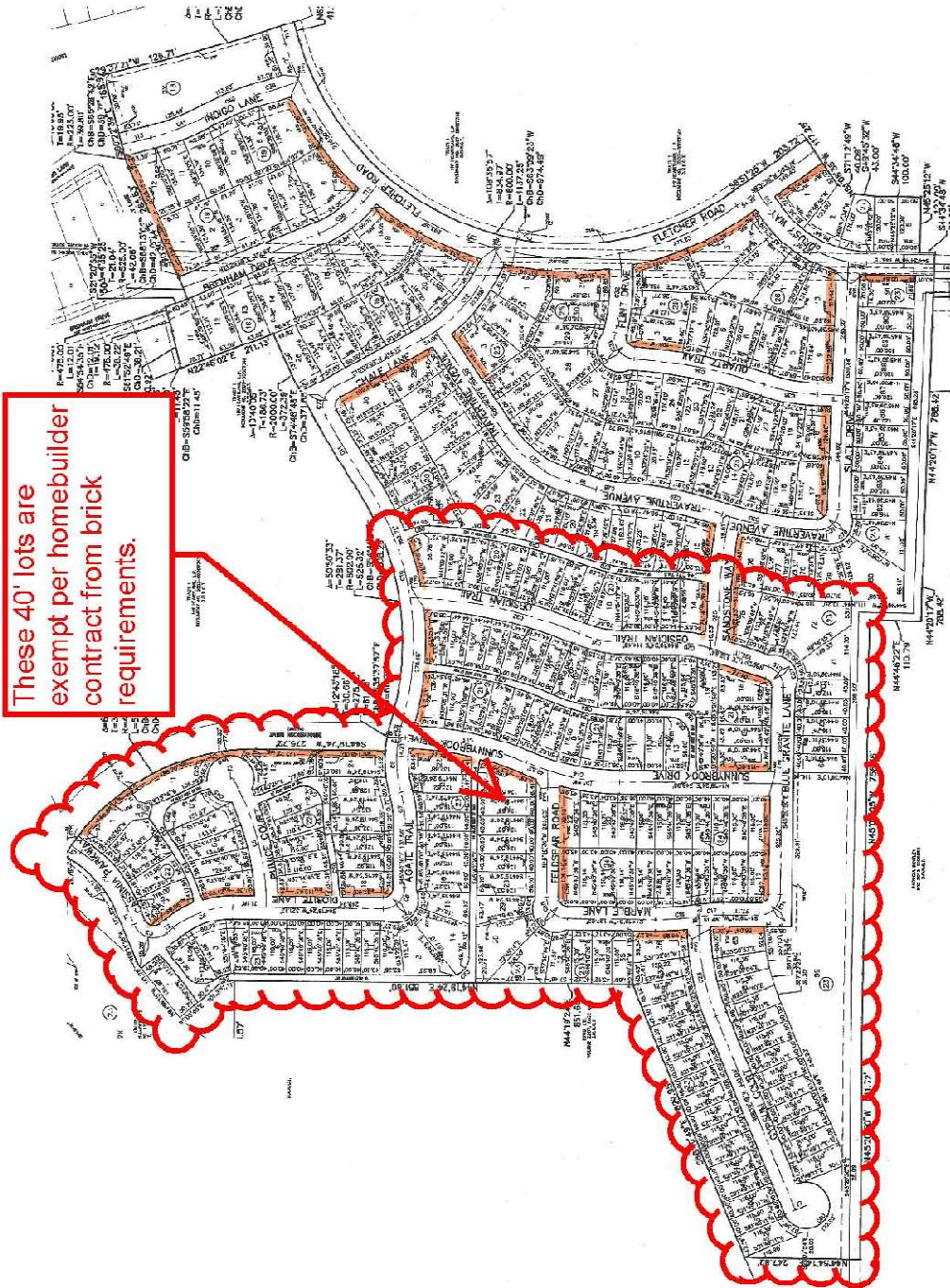
Interior Lots:

1. One-story homes must be 100% brick on the front of the home. Masonry shall extend five feet (5') past the point of the front façade that is the furthest from the front building line on structures located on 50' and 60' Lots.
2. Two-story homes must be 100% brick on the front of the home. Masonry shall extend 5' past from the point of the front façade that is the furthest from the front building line on structures located on 50' and 60' Lots. Must be 65% masonry overall.

Corner Lots:

1. One-story homes must be 100% brick on the front of the home and on the side of the home adjacent to the other street. On the side of the home not facing a street, masonry shall extend five feet (5') past the front façade of the home for 50' and 60' Lots.
2. Two-story homes must be 100% brick on the front of the home and on the side of the home adjacent to the other street. On the side of the home not facing a street, masonry shall extend five feet (5') past the front façade of the home for 50' and 60' Lots. Must be 65% masonry overall.

Note: Lots are considered corner lots if predominantly bordered on two sides by any streets (whether or not those two streets intersect).



Typical Locations Shown for Example for Future Phases



EXHIBIT F-7 BRICK REQUIREMENTS

LEGEND
 100% Brick Required.

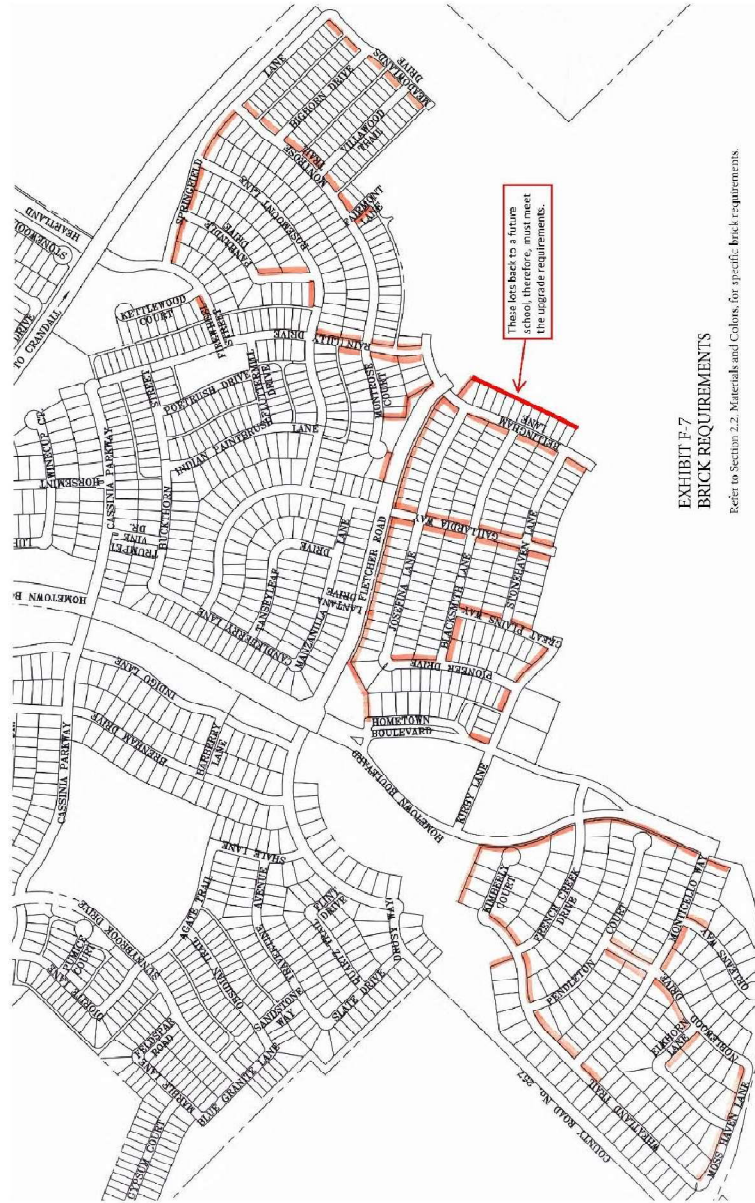
Interior Lots:

1. One-story homes must be 100% brick on the front of the home. Masonry shall extend five feet (5') past from the point of the front façade that is the furthest from the front building line on structures located on 50' and 60' Lots.
2. Two-story homes must be 100% brick on the front of the home. Masonry shall extend 5' past from the point of the front façade that is the furthest from the front building line on structures located on 50' and 60' Lots. Must be 65% masonry overall.

Corner Lots:

1. One-story homes must be 100% brick on the front of the home and on the side of the home adjacent to the other street. On the side of the home not facing a street, masonry shall extend five feet (5') past the front façade of the home for 50' and 60' Lots.
2. Two-story homes must be 100% brick on the front of the home and on the side of the home adjacent to the other street. On the side of the home not facing a street, masonry shall extend five feet (5') past the front façade of the home for 50' and 60' Lots. Must be 65% masonry overall.

Note: Lots are considered corner lots if predominantly bordered on two sides by any streets (whether or not those two streets intersect).



Typical Locations Shown for Example for Future Phases

Exhibit F-8



EXHIBIT F-8A BRICK REQUIREMENTS


- LEGEND**
-  **100% Brick Required.**
- Interior Lots:**
1. One-story homes must be 100% brick on the front of the home. Masonry shall extend five feet (5') past from the point of the front façade that is the furthest from the front building line on structures located on 50' and 60' Lots.
 2. Two-story homes must be 100% brick on the front of the home. Masonry shall extend 5' past from the point of the front façade that is the furthest from the front building line on structures located on 50' and 60' Lots. Must be 65% masonry overall.
- Corner Lots:**
1. One-story homes must be 100% brick on the front of the home and on the side of the home adjacent to the other street. On the side of the home not facing a street, masonry shall extend five feet (5') past the front façade of the home for 50' and 60' Lots.
 2. Two-story homes must be 100% brick on the front of the home and on the side of the home adjacent to the other street. On the side of the home not facing a street, masonry shall extend five feet (5') past the front façade of the home for 50' and 60' Lots. Must be 65% masonry overall.
- Note: Lots are considered corner lots if predominantly bordered on two sides by any streets (whether or not those two streets intersect).**



Exhibit F-8a Brick Requirements
Refer to Architectural Guidelines: Section 2.2, Materials and Colors.

Typical Locations Shown for Example for Future Phases

EXHIBIT F-8B
BRICK REQUIREMENTS

Exhibit F-8

LEGEND
100% Brick Required.

Interior Lots:

1. One-story homes must be 100% brick on the front of the home. Masonry shall extend five feet (5') past from the point of the front façade that is the furthest from the front building line on structures located on 50' and 60' Lots.
2. Two-story homes must be 100% brick on the front of the home. Masonry shall extend 5' past from the point of the front façade that is the furthest from the front building line on structures located on 50' and 60' Lots. Must be 65% masonry overall.

Corner Lots:

1. One-story homes must be 100% brick on the front of the home and on the side of the home adjacent to the other street. On the side of the home not facing a street, masonry shall extend five feet (5') past the front façade of the home for 50' and 60' Lots.
2. Two-story homes must be 100% brick on the front of the home and on the side of the home adjacent to the other street. On the side of the home not facing a street, masonry shall extend five feet (5') past the front façade of the home for 50' and 60' Lots. Must be 65% masonry overall.

Note: Lots are considered corner lots if predominantly bordered on two sides by any streets (whether or not those two streets intersect).

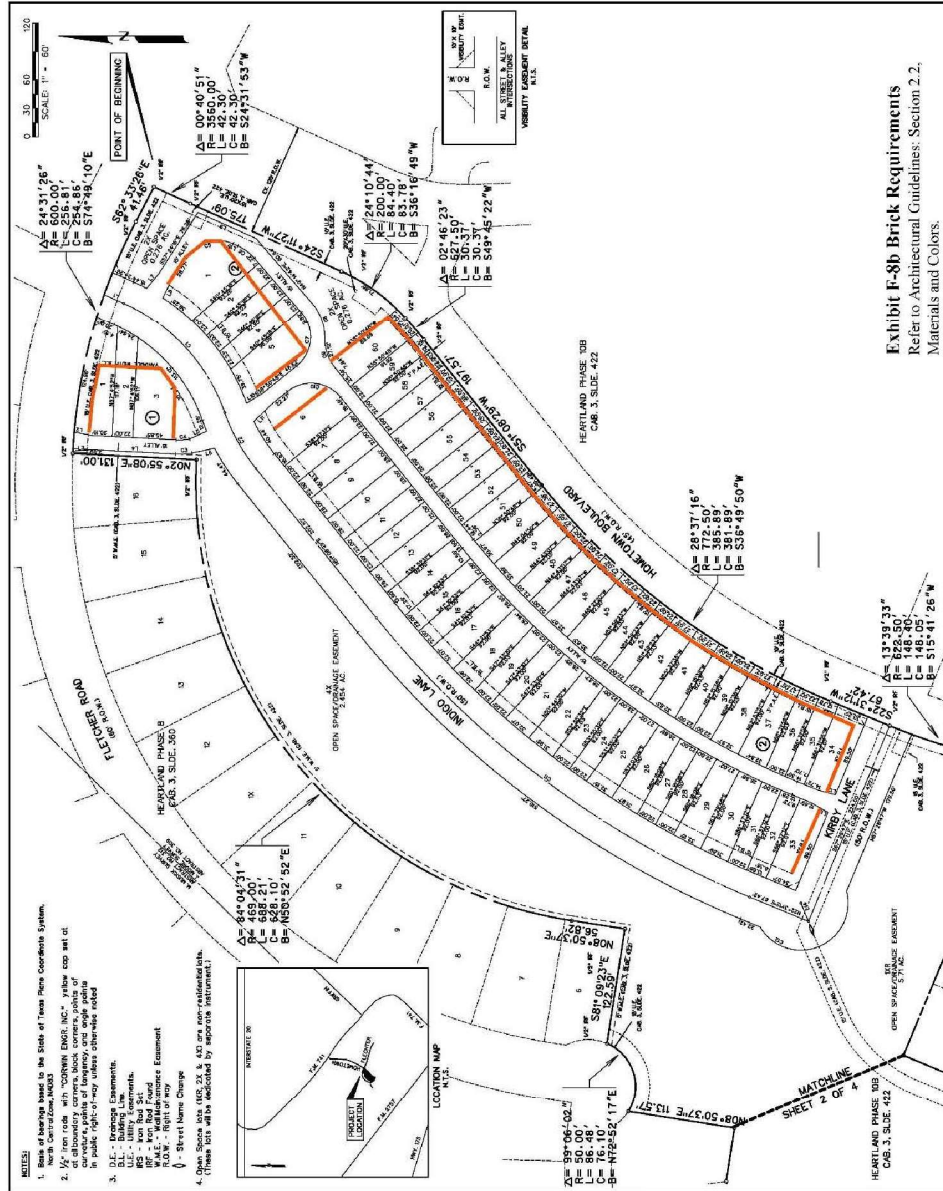


Exhibit F-8b Brick Requirements
Refer to Architectural Guidelines: Section 2.2, Materials and Colors.

Typical Locations Shown for Example for Future Phases

Exhibit F-9

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Exhibit F-10

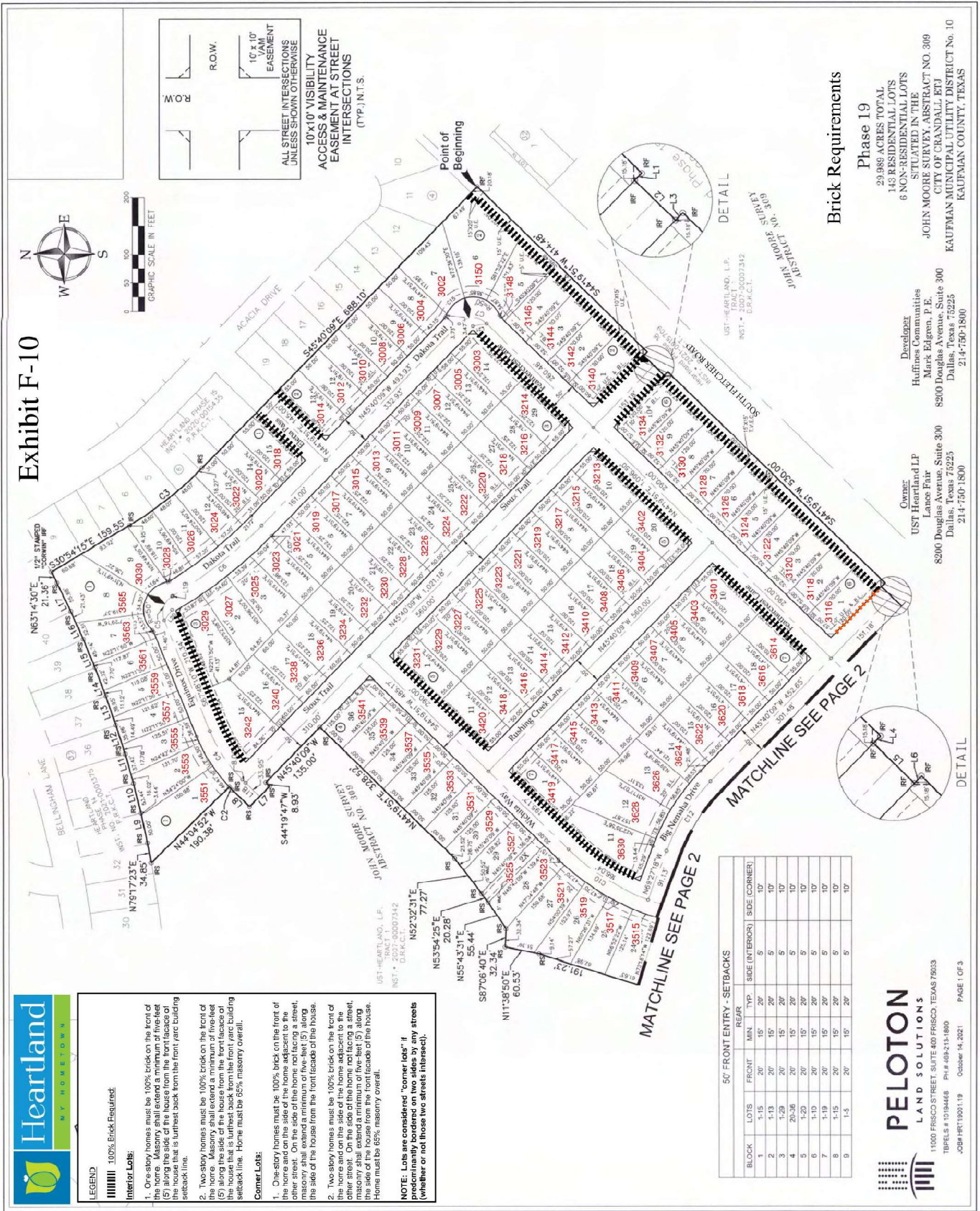
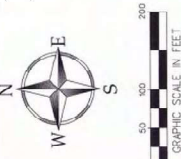


Exhibit F-10

Exhibit F-10



BLOCK 5		
LOT #	SQ. FT.	ACRES
1	6000.00	0.15
2	6000.00	0.14
3	6000.00	0.14
4	6000.00	0.14
5	6000.00	0.14
6	6000.00	0.14
7	6000.00	0.14
8	6000.00	0.14
9	6000.00	0.14
10	6000.00	0.14
11	6000.00	0.14
12	6000.00	0.14
13	6000.00	0.14
14	6000.00	0.14
15	6000.00	0.14
16	6000.00	0.14
17	6000.00	0.14
18	6000.00	0.14
19	6000.00	0.14
20	6000.00	0.14

BLOCK 3 (CONT.)		
LOT #	SQ. FT.	ACRES
25	6112.50	0.14
26	6112.50	0.14
27	6112.50	0.14
28	6112.50	0.14
29	6112.50	0.14
30	6112.50	0.14
31	6112.50	0.14
32	6112.50	0.14
33	6112.50	0.14
34	6112.50	0.14
35	6112.50	0.14
36	6112.50	0.14

BLOCK 2		
LOT #	SQ. FT.	ACRES
1	7200.00	0.17
2	5240.00	0.14
3	5240.00	0.14
4	5240.00	0.14
5	7546.64	0.17
6	14591.10	0.33
7	8956.16	0.21
8	5984.50	0.14
9	5000.00	0.14
10	6182.50	0.14
11	6182.50	0.14
12	6182.50	0.14
13	6182.50	0.14
14	6182.50	0.14
15	6182.50	0.14
16	6182.50	0.14
17	6182.50	0.14
18	6182.50	0.14
19	6182.50	0.14
20	6182.50	0.14
21	6182.50	0.14
22	6182.50	0.14
23	6182.50	0.14
24	6182.50	0.14
25	6182.50	0.14
26	6182.50	0.14
27	6182.50	0.14
28	6182.50	0.14
29	6182.50	0.14
30	6182.50	0.14
31	6182.50	0.14
32	6182.50	0.14
33	6182.50	0.14
34	6182.50	0.14
35	6182.50	0.14
36	6182.50	0.14

BLOCK 3		
LOT #	SQ. FT.	ACRES
1	10178.70	0.23
2	8022.83	0.18
3	7824.06	0.18

BLOCK 1		
LOT #	SQ. FT.	ACRES
1	10254.62	0.24
2	8167.07	0.19
3	6661.13	0.15
4	6170.88	0.14
5	6011.29	0.14
6	5919.02	0.14
7	7255.49	0.17
8	12069.76	0.28
9	7975.30	0.18
10	6182.83	0.14
11	5322.52	0.15
12	6522.59	0.15
13	6122.46	0.14
14	6000.00	0.14
15	6600.00	0.15

BLOCK 4		
LOT #	SQ. FT.	ACRES
20	7845.18	0.18
21	6283.85	0.14
22	6009.00	0.14
23	6463.80	0.15
24	6737.14	0.15
25	7066.82	0.16
26	7951.75	0.18
27	9317.99	0.21
28	7498.43	0.17
29	6621.41	0.15
30	6300.58	0.14
31	6250.00	0.14
32	6250.00	0.14
33	6250.00	0.14
34	6250.00	0.14
35	6250.00	0.14
36	6250.00	0.14

BLOCK 6		
LOT #	SQ. FT.	ACRES
1	6840.00	0.16
2	6240.00	0.14
3	6240.00	0.14
4	6240.00	0.14
5	6240.00	0.14
6	6240.00	0.14
7	6240.00	0.14
8	6240.00	0.14
9	6240.00	0.14
10	6240.00	0.14
11	6240.00	0.14
12	6240.00	0.14
13	6240.00	0.14
14	6240.00	0.14
15	6240.00	0.14
16	6240.00	0.14
17	6240.00	0.14
18	6240.00	0.14
19	6240.00	0.14
20	6240.00	0.14

BLOCK 7		
LOT #	SQ. FT.	ACRES
1	6800.00	0.15
2	6000.00	0.14
3	6000.00	0.14
4	6000.00	0.14
5	6000.00	0.14
6	6000.00	0.14
7	6000.00	0.14
8	6000.00	0.14
9	6000.00	0.14
10	6000.00	0.14
11	6000.00	0.14
12	6000.00	0.14
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19	6000.00	0.14
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37	6000.00	0.14
38	6000.00	0.14
39	6000.00	0.14
40	6000.00	0.14
41	6000.00	0.14
42	6000.00	0.14
43	6000.00	0.14
44	6000.00	0.14
45	6000.00	0.14
46	6000.00	0.14
47	6000.00	0.14
48	6000.00	0.14
49	6000.00	0.14
50	6000.00	0.14
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78	6000.00	0.14
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80	6000.00	0.14
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86	6000.00	0.14
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90	6000.00	0.14
91	6000.00	0.14
92	6000.00	0.14
93	6000.00	0.14
94	6000.00	0.14
95	6000.00	0.14
96	6000.00	0.14
97	6000.00	0.14
98	6000.00	0.14
99	6000.00	0.14
100	6000.00	0.14

BLOCK 8		
LOT #	SQ. FT.	ACRES
1	7494.75	0.17
2	7488.30	0.17
3	7581.99	0.17
4	6600.00	0.15
5	6000.00	0.14
6	6000.00	0.14
7	6000.00	0.14
8	6000.00	0.14
9	7835.02	0.18
10	6859.64	0.16

BLOCK 9		
LOT #	SQ. FT.	ACRES
1	6462.78	0.15
2	6000.00	0.14
3	6000.00	0.14
4	6000.00	0.14
5	6000.00	0.14

BLOCK 8 (CONT.)		
LOT #	SQ. FT.	ACRES
11	6785.56	0.16
12	6003.02	0.14
13	6000.00	0.14
14	6000.00	0.14
15	6000.00	0.14
16	6000.00	0.14
17	6000.00	0.14
18	6000.00	0.14
19	6000.00	0.14
20	6000.00	0.14

BLOCK 8		
LOT #	SQ. FT.	ACRES
1	7494.75	0.17
2	7488.30	0.17
3	7581.99	0.17
4	6600.00	0.15
5	6000.00	0.14
6	6000.00	0.14
7	6000.00	0.14
8	6000.00	0.14
9	7835.02	0.18
10	6859.64	0.16

BLOCK 8		
LOT #	SQ. FT.	ACRES
1	7494.75	0.17
2	7488.30	0.17
3	7581.99	0.17
4	6600.00	0.15
5	6000.00	0.14
6	6000.00	0.14
7	6000.00	0.14
8	6000.00	0.14
9	7835.02	0.18
10	6859.64	0.16

BLOCK 3		
LOT #	SQ. FT.	ACRES
1	10178.70	0.23
2	8022.83	0.18
3	7824.06	0.18

BLOCK 3		
LOT #	SQ. FT.	ACRES
1	10178.70	0.23
2	8022.83	0.18
3	7824.06	0.18

BLOCK 3		
LOT #	SQ. FT.	ACRES
1	10178.70	0.23
2	8022.83	0.18
3	7824.06	0.18

BLOCK 3		
LOT #	SQ. FT.	ACRES
1	10178.70	0.23
2	8022.83	0.18
3	7824.06	0.18

BLOCK 6		
LOT #	SQ. FT.	ACRES
1	6840.00	0.16
2	6240.00	0.14
3	6240.00	0.14
4	6240.00	0.14
5	6240.00	0.14
6	6240.00	0.14
7	6240.00	0.14
8	6240.00	0.14
9	6240.00	0.14
10	6240.00	0.14
11	6240.00	0.14
12	6240.00	0.14
13	6240.00	0.14
14	6240.00	0.14
15	6240.00	0.14
16	6240.00	0.14
17	6240.00	0.14
18	6240.00	0.14
19	6240.00	0.14
20	6240.00	0.14

BLOCK 6		
LOT #	SQ. FT.	ACRES
1	6840.00	0.16
2	6240.00	0.14
3	6240.00	0.14
4	6240.00	0.14
5	6240.00	0.14
6	6240.00	0.14
7	6240.00	0.14
8	6240.00	0.14
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10	6240.00	0.14
11	6240.00	0.14
12	6240.00	0.14
13		

Exhibit F-11

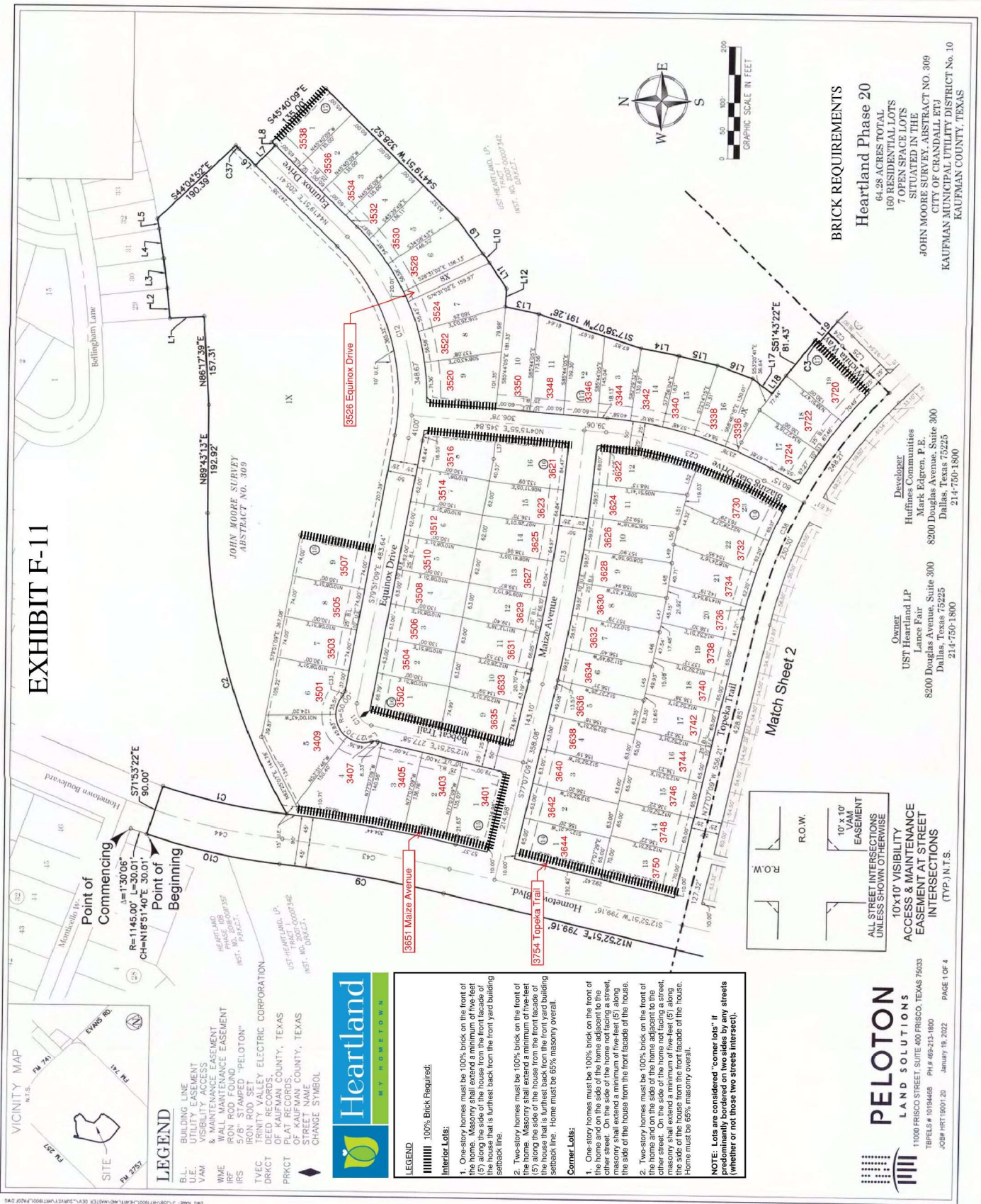


Exhibit F-11

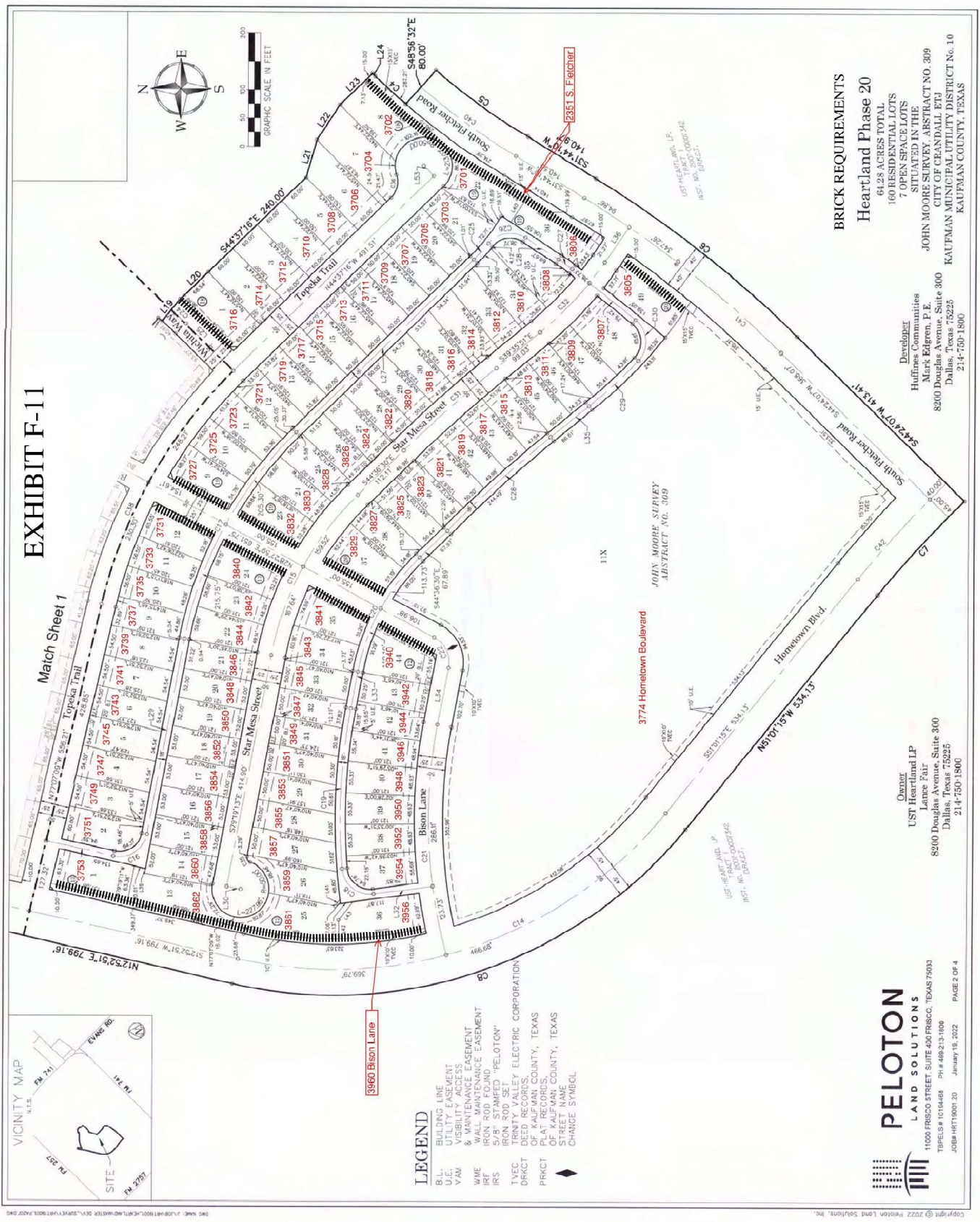
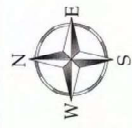


EXHIBIT F-11



LEGEND

- B.L. BUILDING LINE
- U.E. UTILITY EASEMENT
- V.A.M. VISIBILITY ACCESS
- W.M. WALKWAY
- W.M.E. WALL MAINTENANCE EASEMENT
- W.M.E. WALKWAY MAINTENANCE EASEMENT
- IRF IRON ROD FOUND
- IRS 5/8" STAMPED "PELTON"
- IRN IRON ROD SET
- T.V.E.C. TRINITY VALLEY ELECTRIC CORPORATION
- D.R.A.G.T. DRAINAGE
- P.R.K.T. OF KAUFMAN COUNTY, TEXAS
- P.R.K.T. OF KAUFMAN COUNTY, TEXAS
- S.T.R.E.E.T. NAME
- C.H.A.N.G.E. SYMBOL

BRICK REQUIREMENTS
Heartland Phase 20
 64.28 ACRES TOTAL
 160 RESIDENTIAL LOTS
 7 OPEN SPACE LOTS
 SITUATED IN THE
 JOHN MOORE SURVEY, ABSTRACT NO. 309
 CITY OF CRANDALL ETJ
 KAUFMAN MUNICIPAL UTILITY DISTRICT NO. 10
 KAUFMAN COUNTY, TEXAS

Developer
 Huffines Communities
 Mark Edgren, P.E.
 8200 Douglas Avenue, Suite 300
 Dallas, Texas 75225
 214-750-1800

Owner
 UST Heartland LP
 Lance Fair
 8200 Douglas Avenue, Suite 300
 Dallas, Texas 75225
 214-750-1800

PELTON
LAND SOLUTIONS
 11000 FRISCO STREET, SUITE 400 FRISCO, TEXAS 75033
 TEL: 972-661-1100 FAX: 972-661-1101
 WWW.PELTONLANDSOLUTIONS.COM

JOB#-HRT19001.20 January 19, 2022 PAGE 2 OF 4

Exhibit F-12

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Exhibit F-13

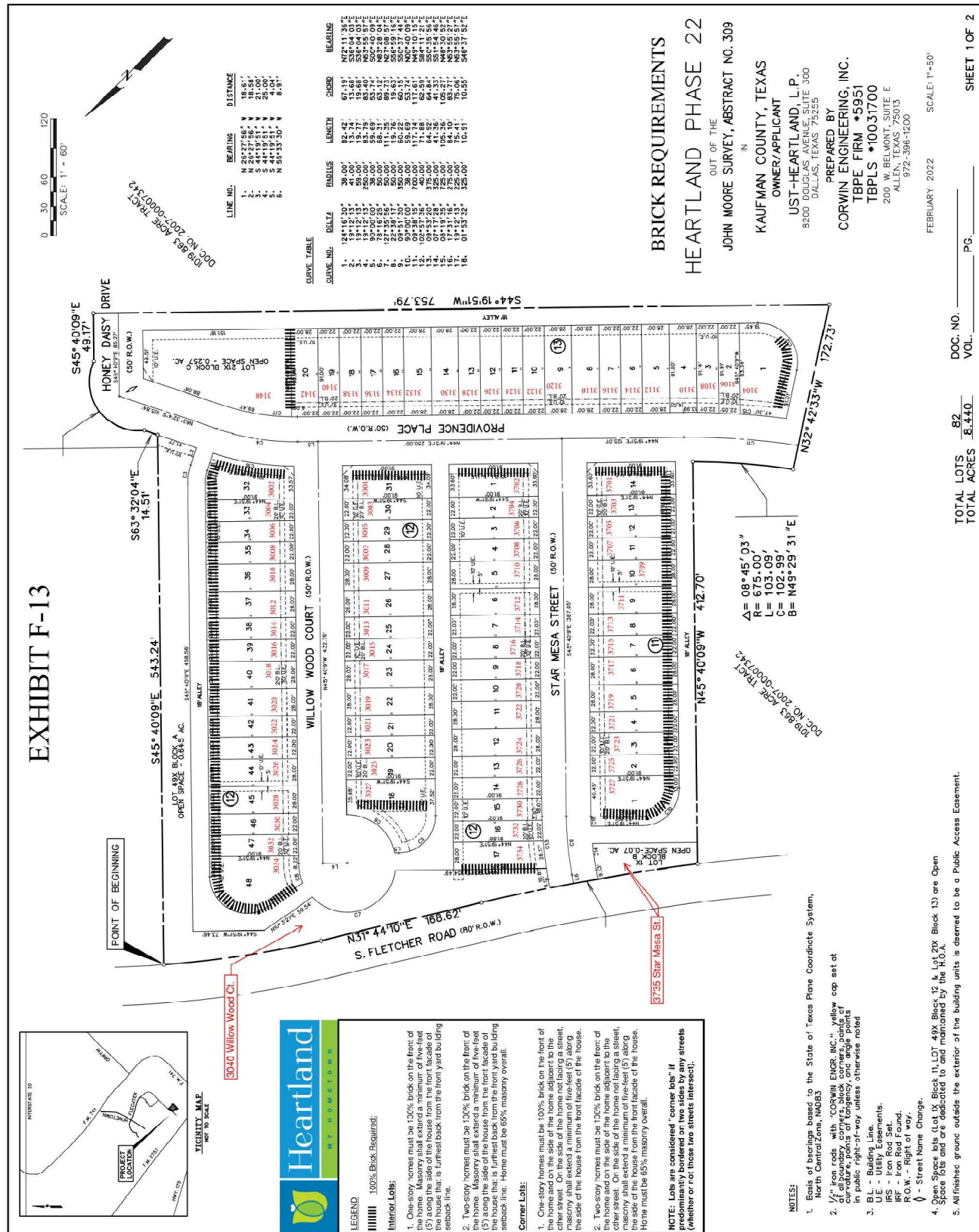


Exhibit F-14

EXHIBIT F-14 BRICK REQUIREMENTS



LEGEND
 ■■■■■ 100% Brick Required

Interior Lots:

- One-story homes must be 100% brick on the front of the home. Masonry shall extend a minimum of two feet (2') along the side of the house from the front facade of the house that is "set back" from the front yard building setback line.
- Two-story homes must be 100% brick on the front of the home. Masonry shall extend a minimum of two feet (2') along the side of the house from the front facade of the house that is "set back" from the front yard building setback line. Home must be 65% masonry overall.

Corner Lots:

- One-story homes must be 100% brick on the front of the home. Masonry shall extend a minimum of two feet (2') along the side of the home not facing a street.
- Two-story homes must be 100% brick on the front of the home, and on the side of the home adjacent to the street. On the side of the home not facing a street, the side of the house from the front facade of the house. Home must be 65% masonry overall.

NOTE: Lots are considered "corner lots" if predominantly bordered on two sides by any streets (whether or not those two streets intersect).

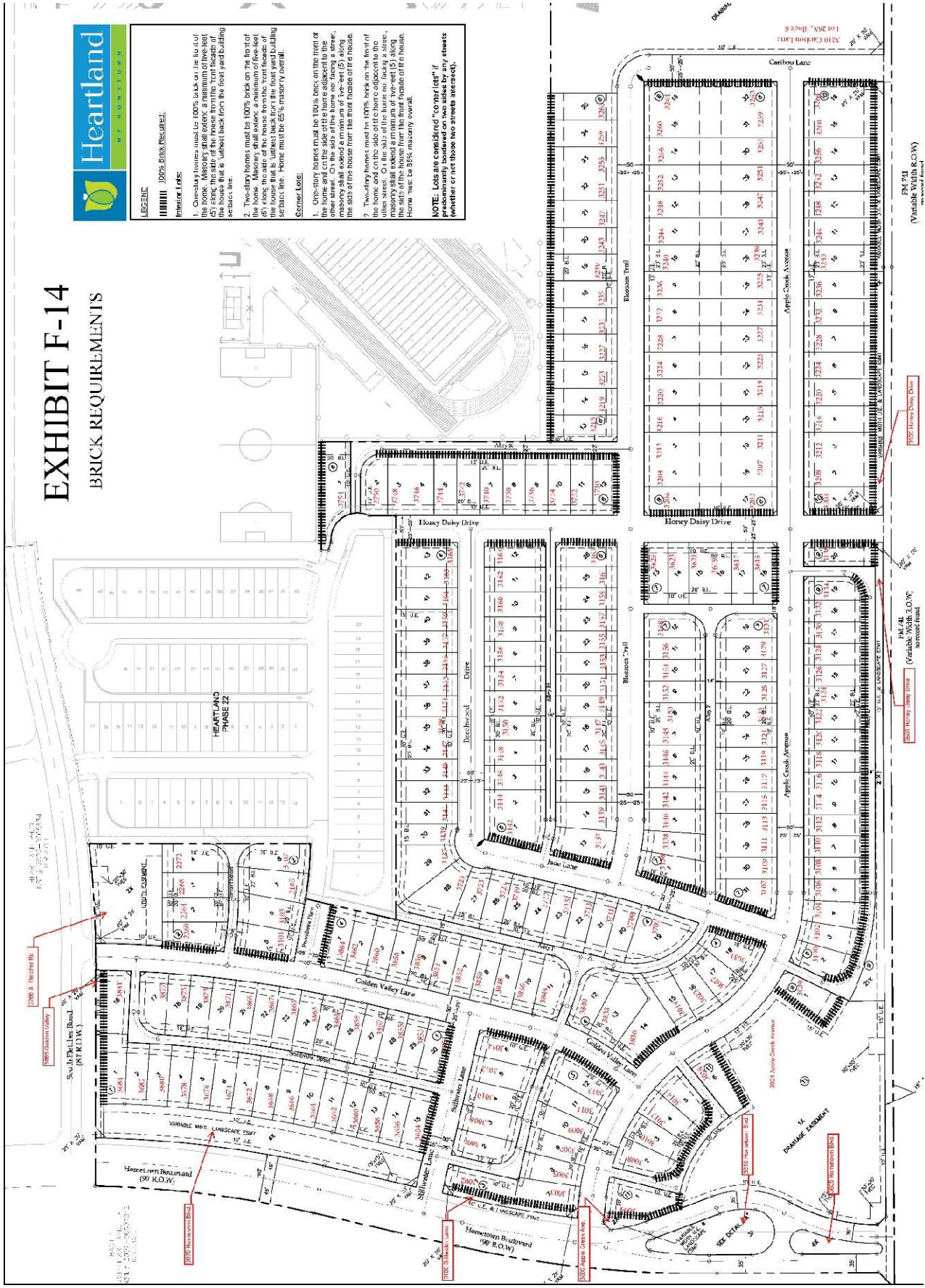


Exhibit G

LANDSCAPE PLANTINGS



Specifications for
purchased plant
materials

Shrubs

Loropetalum

3 Gallon
19" Width, 10" Height



7 Gallon
22" Width, 17" Height



Exhibit G

Indian Hawthorn

1 Gallon
7" Width, 5" Height



3 May 9, 2014

Indian Hawthorn

3 Gallon Clara
16" Width, 12" Height



4 May 9, 2014 Footer text here

5 Gallon Snow White
21" Width, 13" Height



Exhibit G

Knock Out Rose

3 Gallon
15" Width, 13" Height



7 Gallon
21" Width, 15" Height



5 May 9, 2014 Footer text here

Carissa Holly

3 Gallon
11" Height, Width to at least the rim of the pot.



7 Gallon
17" Width, 11" Height



6 May 9, 2014 Footer text here

Exhibit G

Dwarf Yaupon Holly

3 Gallon
20" Width, 11" Height

7 Gallon
20" Width, 13" Height

15 Gallon
29" Width, 25" Height



7

May 9, 2014

Footer text here

Abelia

3 Gallon 'Rose Creek'
21" Width, 17" Height



8

May 9, 2014

Footer text here

Exhibit G

Rosemary

1 Gallon
8" Width, 5" Height



3 Gallon
14" Width, 6" Height



9

May 9, 2014

Footer text here

Texas Sage

3 Gallon Sage
12" Width, 11" Height



5 Gallon Sage
13" Width, 16" Height



10

May 9, 2014

Footer text here

Exhibit G

Bar Harbor Juniper

3 Gallon
10" Width, 3" Height



5 Gallon
19" Width, 4" Height



11 May 9, 2014 Footer text here

Average Specifications

Species – Sub Species	Heights	Description
Loropetalum –Burgundy Blast	1 Gallon 8" to 10" 3 Gallon 15" to 18" 5 Gallon 18" to 24"	An evergreen shrub with rich burgundy new foliage that matures to purple-green. Fringed hot pink flowers appear abundantly in spring and sporadically in summer. Can easily be trained to a small tree form. Matures at 6' to 8' tall and wide, if not sheared. Best spring foliage color of the Loropetalum group. Exposure: Part Sun
Indian Hawthorn –Snow White	1 Gallon 8" to 10" 3 Gallon 12" to 15" 5 Gallon 15" to 18" 7 Gallon 18" to 24"	A somewhat spreading evergreen with clusters of white flowers in early spring. Vigorous growth with excellent branching creates a full, uniform shrub during the remainder of the year. Exposure: Full Sun to Part Sun
Knock Out Rose		
Carissa Holly	1 Gallon 6" to 8" 3 Gallon 10" to 12" 5 Gallon 12" to 15"	An outstanding dwarf and dense grower to 3' tall and 4' to 5' wide. The leaves are dark glossy green with one spine at the tip. Excellent for use as a low hedge or in mass plantings. No berries. Exposure: Full Sun to Part Sun
Dwarf Yaupon	1 Gallon 6" to 8" 3 Gallon 12" to 15" 5 Gallon 15" to 18" 7 Gallon 18" to 20"	A dwarf, compact form with small shiny leaves. Excellent in planter boxes or as a low hedge. Matures at 5' to 6' high by 8' or wider. Make a giant cushioned cushion if not pruned. Exposure: Full Sun to Part Sun
Abelia-Sherwoodii	1 Gallon 8" to 10" 5 Gallon 5" to 18"	Evergreen to partly deciduous shrub with a fountain-like form that grows 3' to 6' spread. Tubular or bell-shaped flowers are white or pink tinged and appear at ends of branches in summer. Exposure: Full Sun to Part Sun
Prostrate Rosemary		A low-spreading tender perennial herb with green, fragrant leaves and pale blue flowers in early to mid-summer. An excellent ground cover that grows to 3" high. Exposure: Full Sun
Texas Sage –Green Cloud	1 Gallon 6" to 8" 3 Gallon 12" to 15" 5 Gallon 15" to 18"	This sage has green foliage, lavender-purple blossoms, and grows to 6'. More vigorous growth than Compact Texas Sage. Selected and trademarked by Texas Agricultural Experiment Station. Exposure: Full Sun
Bar Harbor Juniper	1 Gallon 10" to 12" 5 Gallon 18" to 24"	Good, low, and prostrate growing ground cover. Foliage is very blue with blue-gray summer color and blue to light blue-purple winter color. Moderate rate of growth with ground hugging effect. Height 1' and spreading to 6'. Exposure: Full Sun

12 July 22, 2012 Footer text here

Exhibit G



Photographed by Francisca Lopez

Courtesy of:

- Southwest Wholesale Nursery
- Bruce Miller Nursery
- North Dallas Plant Sales
- Greenleaf Nursery

May 12, 2014



Exhibit H

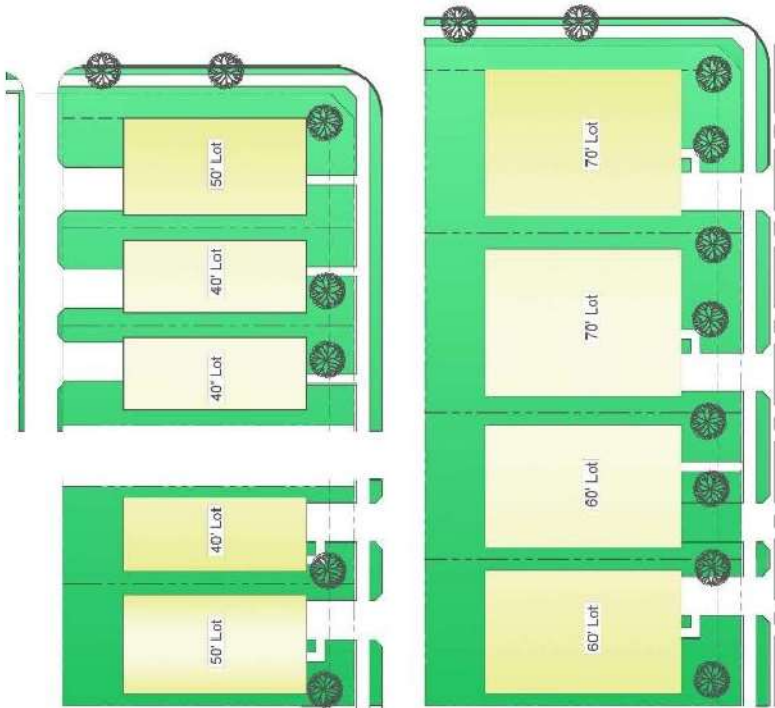
EXHIBIT H STREET TREE PLAN



Each 40' and 50' lot must have a minimum of one (1) three-inch (3") caliper 65-gallon shade tree planted in the front yard; trees shall no longer be planted in the street right-of-way in the front of the home. Corner lots will also require two (2) 2 1/2"-3" caliper 45-gallon trees to be planted with 40-foot spacing along the side of the home within the street right-of-way.

Each 60' and 70'+ lot in width must have a minimum of two (2) 3 1/2"-4" caliper 65-gallon shade trees to be planted in the front yard; trees shall no longer be planted in the street right-of-way in the front of the home. Corner lots will require two (2) 3"-3 1/2" caliper 65-gallon trees planted with 40-foot spacing along the side of the home within the street right-of-way.

Townhomes shall plant Crepe Myrtles (65-gallon) in the front yards per Section 2.9.c.



Street Tree Specimen List

Allowable Large Shade and Canopy Trees

- Cedar Elm
- Chinese Pistache
- Texas Ash
- Trident/Shantung Maple
- Brandywine Maple
- Redwood (does not grow well in Heartland)
- Live Oak
- Chinquapin Oak
- Bigtooth Maple
- Paperbark Maple

Tree caliper is measured six inches (6") from the base of the tree. Seller reserves the right to reject any tree.

No trees shall be planted within 15 feet (15') of a corner (curb return) so as not to obstruct a future stop sign or streetlight.

All lots facing or siding a street where a school is on the opposite side of the right-of-way, must be planted with Live Oaks.

Allowable Ornamental and Small Canopy Trees

If property owners desire to plant **ADDITIONAL** trees, allowable ornamental and small canopy trees are:

- | | |
|--------------------------------|--------------------------------|
| Aristocrat Pear | Royal Purple Smoketree |
| Dogwood, Stiff Cornel | Dogwood, Cloud 9 (white) |
| Bradford Pear | Redbud (all varieties) |
| Japanese Maple | Dogwood, Roughleaf |
| Tuscarora Crape Myrtle | Savannah Holly (tree shape) |
| Natchez Crape Myrtle | Dogwood, Springsong (rose red) |
| Dogwood, Cherokee Chief (ruby) | Yaupon Holly Tree |

NOTE: Ornamental and Small Canopy Trees are **NOT** allowed to be substitutions for large shade and canopy trees.

Exhibit I-1 SIGN AND STREET SIGN EXHIBITS

RESIDENTIAL SIGNAGE FOR BUILDERS



COMMERCIAL TRACTS FOR SALE



COLOR SPECIFICATIONS

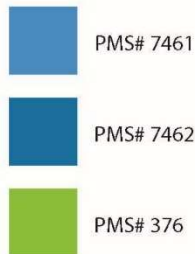


Exhibit I-2 SIGN AND STREET SIGN EXHIBITS



IMPORTANT: For your protection and ours, Brandon Industries, Inc. never begins a sign job before receiving written customer approval. Please check this proof carefully and mark any changes or corrections. Please provide your name (signature) on the approval form and return to Brandon Industries, Inc. as soon as possible. Forms received without a signature will result in production delays until an official signed approval is submitted. PRODUCTION DOES NOT BEGIN UNTIL PROOF IS SIGNED AND RETURNED. We regret any undetected errors that may occur through production, but cannot be held responsible for errors if the signs are manufactured per customer's "Approval".